

Building Data Summary	
Project ID:	New Townhome Units
Location:	*****
Scope of Work:	Shell construction - stucco, interior framing, drywall and paint
Date:	Dec 19, 2024

Item #	Ref. Sheet #	Item Description	Unit	Quantity	Wastage	Quantity w/ Wastage	Unit Material Cost	Total Material Cost	Unit Manhour	Hourly Wage	Unit Labor Cost	Total Labor Cost	Sub Cost	Total Trade Cost
<b>DIVISION 01 GENERAL REQUIREMENTS</b>														
1		Supervision and Coordination	LS	1	0%	1	\$ -	\$ -	0	\$ -	\$ -	\$ -		
2		Submittals and Shop drawings	LS	1	0%	1	\$ -	\$ -	0	\$ -	\$ -	\$ -		
3		Final Cleaning	LS	1	0%	1	\$ -	\$ -	0	\$ -	\$ -	\$ -		
4		Mobilization Costs	LS	1	0%	1	\$ -	\$ -	0	\$ -	\$ -	\$ -	\$ 156,500	
5		Temporary Control & Facilities	LS	1	0%	1	\$ -	\$ -	0	\$ -	\$ -	\$ -		
6		Scaffolding Only For Exterior Finish	SF	5800	0%	5800	\$ -	\$ -	0	\$ -	\$ -	\$ -		
<b>Subtotal (General Requirements)</b>														<b>\$ 156,500</b>

<b>DIVISION 02- SITE WORK/ EXISTING CONDITIONS</b>														
<b>Foundation</b>														
<b>Excavation</b>														
7		Excavation Wall & Pad Concrete Footing	CY	119.5	10%	131	\$ -	\$ -	0.85	\$ 50.00	\$ 42.50	\$ 5,586.63	\$ 5,586.63	
<b>Site</b>														
8		4" Concrete Sidewalk - 636 SF - Compacted Subgrade	CY	8	10%	9	\$ 265.65	\$ 2,271.48	2.85	\$ 50.00	\$ 142.50	\$ 1,218.47	\$ 3,489.95	
9		6" H Solid Wood Fence	LF	42	10%	46	\$ 85.62	\$ 3,955.64	0.165	\$ 50.00	\$ 8.25	\$ 381.15	\$ 4,336.79	
10		6" Concrete Curb W/ Gutter	LF	220	10%	242	\$ 14.20	\$ 3,436.40	0.12	\$ 50.00	\$ 6.00	\$ 1,452.00	\$ 4,888.40	
11		6" Taper Curb	LF	7	10%	8	\$ 12.40	\$ 95.48	0.125	\$ 50.00	\$ 6.25	\$ 48.13	\$ 143.61	
12		Light Duty Asphalt	SF	5901	10%	6491	\$ 5.85	\$ 37,972.94	0.065	\$ 50.00	\$ 3.25	\$ 21,096.08	\$ 59,069.01	
13		Landscaping Area	SF	7427	10%	8170	\$ 1.10	\$ 8,986.67	0.01	\$ 50.00	\$ 0.50	\$ 4,084.85	\$ 13,071.52	
<b>Exterior Parking</b>														
14		4" Painted Parking Strip - 16 EA	LF	288	10%	317	\$ 1.70	\$ 538.56	0.012	\$ 50.00	\$ 0.60	\$ 190.08	\$ 728.64	
15		4" Painted Parking Prohibited Strip	LF	150	10%	165	\$ 1.70	\$ 280.50	0.012	\$ 50.00	\$ 0.60	\$ 99.00	\$ 379.50	
16		(12" Wide) Painted Arrow Sign	EA	4	10%	4	\$ 11.70	\$ 51.48	0.012	\$ 50.00	\$ 0.60	\$ 2.64	\$ 54.12	
17		Painted Handicap Sign	EA	1	10%	1	\$ 11.70	\$ 12.87	0.012	\$ 50.00	\$ 0.60	\$ 0.66	\$ 13.53	
18		(6'-0" L) Wheel Stopper	EA	14	10%	15	\$ 11.70	\$ 180.18	0.012	\$ 50.00	\$ 0.60	\$ 9.24	\$ 189.42	
<b>Subtotal (Site Work/ Existing Conditions)</b>														<b>\$ 91,951</b>

<b>DIVISION 03- CONCRETE</b>														
<b>Foundation</b>														
<b>Footings</b>														
19		(18"x18") Concrete Footing - 142 LF	CY	11.83	10%	13	\$ 265.65	\$ 3,457.88	2.85	\$ 50.00	\$ 142.50	\$ 1,854.88	\$ 5,312.75	
20		#5@12" Top & Bot. Short Bar (2) #5 Top & Bot. Long Bar (18"x18") Concrete Footing - 220 LF	CY	18.33	10%	20	\$ 265.65	\$ 5,357.28	2.85	\$ 50.00	\$ 142.50	\$ 2,873.75	\$ 8,231.03	
21		#5@12" Top & Bot. Short Bar (2) #5 Top & Bot. Long Bar (24"x18") Concrete Footing - 273 LF	CY	30.33	10%	33	\$ 265.65	\$ 8,863.86	2.85	\$ 50.00	\$ 142.50	\$ 4,754.75	\$ 13,618.61	
22		#5@12" Top & Bot. Short Bar (2) #5 Top & Bot. Long Bar (30"x30"x18") Pad Footing - 4 EA	CY	1.39	10%	2	\$ 265.65	\$ 405.85	2.85	\$ 50.00	\$ 142.50	\$ 217.71	\$ 623.56	
<b>Slab</b>														
23		4" Concrete Slab - 5325 SF	CY	65.08	10%	72	\$ 265.65	\$ 19,018.33	2.85	\$ 50.00	\$ 142.50	\$ 10,201.81	\$ 29,220.14	
24		10 MIL Vapor Barrier 8" Thick Concrete Pad - 636 SF	CY	15.78	10%	17	\$ 265.65	\$ 4,611.80	2.85	\$ 50.00	\$ 142.50	\$ 2,473.86	\$ 7,085.67	
25		10 Mill Vapor Barrier W1.4xW1.4 Wire Mesh (8"x18") Thickened - 310 LF	CY	11.54	10%	13	\$ 265.65	\$ 3,371.84	2.85	\$ 50.00	\$ 142.50	\$ 1,808.72	\$ 5,180.56	
26		(1) #5 Cont. Bar (6"x6") Thicken edge Slab - 715 LF	CY	6.62	10%	7	\$ 265.65	\$ 1,934.57	2.85	\$ 50.00	\$ 142.50	\$ 1,037.74	\$ 2,972.31	
27		10 MIL Vapor Barrier Pre-Cast Lintel	LF	56	10%	62	\$ 16.80	\$ 1,034.88	0.313	\$ 50.00	\$ 15.65	\$ 964.04	\$ 1,998.92	
<b>Reinforcement</b>														
28		(2) #4x3'-0" Diagonal Crack Control Bar	Lbs.	5.34	10%	6	\$ 1.20	\$ 7.05	0.012	\$ 50.00	\$ 0.60	\$ 3.52	\$ 10.57	
29		#4x6'-0" Long Top Transfer Bar @ 12" O.C - 198 LF	Lbs.	12.27	10%	13	\$ 1.20	\$ 16.20	0.012	\$ 50.00	\$ 0.60	\$ 8.10	\$ 24.29	
30		#4x6'-0" Long Top Transfer Bar @ 12" O.C - 216 LF	Lbs.	144.29	10%	159	\$ 1.20	\$ 190.46	0.012	\$ 50.00	\$ 0.60	\$ 95.23	\$ 285.69	
31		#4X18'-5" Long Top Transfer Bar @ 12" O.C - 108 LF	Lbs.	72.15	10%	79	\$ 1.20	\$ 95.24	0.012	\$ 50.00	\$ 0.60	\$ 47.62	\$ 142.86	
32		#4X12'-3" Long Top Transfer Bar @ 12" O.C - 36 LF	Lbs.	24.05	10%	26	\$ 1.20	\$ 31.75	0.012	\$ 50.00	\$ 0.60	\$ 15.87	\$ 47.62	
<b>Subtotal (Concrete)</b>														<b>\$ 74,755</b>

<b>DIVISION 04- MASONRY</b>														
<b>8" CMU Walls</b>														
33		8" CMU Wall As; (669 LF, 10'-6" H) (7025 SF) W/ 1 #5 Vert Bars @ 4' O.C - Standard 8 in. x 8 in. x 16 in. Concrete Block	SF	7025	10%	7728	\$ 8.50	\$ 65,683.75	0.1	\$ 60.00	\$ 6.00	\$ 46,365.00	\$ 112,048.75	
34		Grout 8" CMU Wall As; (669 LF, 10'-6" H) W/ 1 #5 Vert Bars @ 4' O.C	CY	16.04	10%	18	\$ 265.65	\$ 4,687.13	1.8	\$ 50.00	\$ 90.00	\$ 1,587.96	\$ 6,275.09	
		8" Bond Beam	LF	309	10%	340	\$ 8.50	\$ 2,889.15	0.024	\$ 50.00	\$ 1.20	\$ 407.88	\$ 3,297.03	
<b>Subtotal (Masonry)</b>														<b>\$ 121,621</b>

<b>DIVISION 06- WOOD, PLASTIC &amp; COMPOSITES</b>														
<b>1st Floor</b>														
<b>Post</b>														
35		12"x12" Wood Column (10'-0"H, 4 EA)	LF	40	10%	44	\$ 6.25	\$ 275.00	0.024	\$ 50.00	\$ 1.20	\$ 52.80	\$ 327.80	
<b>2nd Floor</b>														
<b>Beam/ Header</b>														
36		4"x6" Header	LF	168	10%	185	\$ 4.65	\$ 859.32	0.024	\$ 50.00	\$ 1.20	\$ 221.76	\$ 1,081.08	
<b>Girder</b>														
37		Girder Trusses	LF	555	10%	611	\$ 1.70	\$ 1,037.85	0.015	\$ 50.00	\$ 0.75	\$ 457.88	\$ 1,495.73	
<b>Truss</b>														
38		Pre-Engineered Wood Floor Trusses @ 19.2" O.C	SF	4929	10%	5422	\$ 8.15	\$ 44,188.49	0.02	\$ 50.00	\$ 1.00	\$ 5,421.90	\$ 49,610.39	
<b>Sheathing</b>														
39		3/4" Plywood Sheathing	SF	4929	10%	5422	\$ 1.12	\$ 6,072.53	0.02	\$ 50.00	\$ 1.00	\$ 5,421.90	\$ 11,494.43	
<b>Blocking</b>														
40		2"x4" Blocking	LF	925	10%	1018	\$ 4.65	\$ 4,731.38	0.024	\$ 50.00	\$ 1.20	\$ 1,221.00	\$ 5,952.38	
41		2"x5" Ledger W/ 1/2 Dia Thru Bolt	LF	72	10%	79	\$ 3.98	\$ 315.22	0.025	\$ 50.00	\$ 1.25	\$ 99.00	\$ 414.22	
42		2"x8" Fascia Board W/ 2-16 Nails	LF	75	10%	83	\$ 4.65	\$ 383.63	0.024	\$ 50.00	\$ 1.20	\$ 99.00	\$ 482.63	
<b>Lumber</b>														
43		2"x6" Wood Lumber	LF	102	10%	112	\$ 2.30	\$ 258.06	0.022	\$ 50.00	\$ 1.10	\$ 123.42	\$ 381.48	
44		2"x12" Wood Lumber	LF	25	10%	28	\$ 6.25	\$ 171.88	0.024	\$ 50.00	\$ 1.20	\$ 33.00	\$ 204.88	
<b>Stringer</b>														
45		2"x12" Wood Stringer	LF	420	10%	462	\$ 6.25	\$ 2,887.50	0.024	\$ 50.00	\$ 1.20	\$ 554.40	\$ 3,441.90	
<b>Roof Framing</b>														
46		Pre-Feb Wood Roof Trusses @ 24" O.C (By Others)	SF	6058	10%	6664	\$ -	\$ -	0.02	\$ 50.00	\$ 1.00	\$ 6,663.80	\$ 6,663.80	
47		Overhang Wood Lockouts @ 24" O.C (By Others) - 429 SF	LF	215	10%	237	\$ -	\$ -	0.015	\$ 50.00	\$ 0.75	\$ 177.38	\$ 177.38	
<b>Bracing</b>														
48		2"x4" Lateral Bracing @ 10' O.C	LF	427	10%	470	\$ 4.65	\$ 2,184.11	0.024	\$ 50.00	\$ 1.20	\$ 563.64	\$ 2,747.75	
49		2"x4" Brace @ 20' O.C	LF	312	10%	343	\$ 4.65	\$ 1,595.88	0.024	\$ 50.00	\$ 1.20	\$ 411.84	\$ 2,007.72	
<b>Sheathing</b>														
50		5/8" CDX Plywood Sheathing	SF	6058	10%	6664	\$ 1.08	\$ 7,196.90	0.02	\$ 50.00	\$ 1.00	\$ 6,663.80	\$ 13,860.70	
51		8d Nails At Edge Spacing = 6" O.C. & Field Spacing = 12" O.C.	EA	31992	0%	31992	\$ 0.50	\$ 15,996.00	0.003	\$ 50.00	\$ 0.15	\$ 4,798.80	\$ 20,794.80	
<b>Trims</b>														
52		3-1/4" Doors Trim	LF	2663	10%	2929	\$ 1.84	\$ 5,389.91	0.018	\$ 50.00	\$ 0.90	\$ 2,636.37	\$ 8,026.28	
53		3-1/4" Windows Trim	LF	1843	10%	2027	\$ 1.84	\$ 3,730.23	0.018	\$ 50.00	\$ 0.90	\$ 1,824.57	\$ 5,554.80	
<b>Hardware</b>														
54		"H1A" Hurricane String Tie Simpson	EA	72	0%	72	\$ 0.85	\$ 61.20	0.025	\$ 50.00	\$ 1.25	\$ 90.00	\$ 151.20	
55		"HU26" Hanger	EA	72	0%	72	\$ 13.87	\$ 998.64	0.072	\$ 50.00	\$ 3.60	\$ 259.20	\$ 1,257.84	
56		"H105" Simpson Strong Tie W/(8) 0.131x1-1/2" Nails on Wood Truss	EA	294	0%	294	\$ 0.85	\$ 249.90	0.025	\$ 50.00	\$ 1.25	\$ 367.50	\$ 617.40	

Building Data Summary	
Project ID:	New Townhome Units
Location:	*****
Scope of Work:	Shell construction - stucco, interior framing, drywall and paint
Date:	Dec 19, 2024

Item #	Ref. Sheet #	Item Description	Unit	Quantity	Wastage	Quantity w/ Wastage	Unit Material Cost	Total Material Cost	Unit Manhour	Hourly Wage	Unit Labor Cost	Total Labor Cost	Sub Cost	Total Trade Cost
57		"HM9KT" Simpson Strong Tie W/(4) 1/4x1-1/2" sds on Wood Truss	EA	42	0%	42	\$ 0.85	\$ 35.70	0.025	\$ 50.00	\$ 1.25	\$ 52.50	\$ 88.20	
58		"H214" Hanger	EA	3029	0%	3029	\$ 13.87	\$ 42,012.23	0.072	\$ 50.00	\$ 3.60	\$ 10,904.40	\$ 52,916.63	
59		"ML242" Simpson Strong Tie Angle	EA	8	0%	8	\$ 17.85	\$ 142.80	0.075	\$ 50.00	\$ 3.75	\$ 30.00	\$ 172.80	
60		Add Rental Crane Price For Bearing Wall Framing & Sheathing	SF	21512	10%	23663	\$ -	\$ -	0	\$ -	\$ -	\$ -	\$ -	
<b>Millwork</b>														
61		1st Floor (2'-0" W) Lavatory Base Cabinets	LF	35	10%	39	\$ 190.00	\$ 7,315.00	0.78	\$ 50.00	\$ 39.00	\$ 1,501.50	\$ 8,816.50	
<b>2nd Floor</b>														
62		(1'-0" W) Closet Shelves	LF	84	10%	92	\$ 315.00	\$ 29,106.00	1.15	\$ 50.00	\$ 57.50	\$ 5,313.00	\$ 34,419.00	
63		(1'-0" W) Walk In Closet	LF	112	10%	123	\$ 320.00	\$ 39,424.00	1.35	\$ 50.00	\$ 67.50	\$ 8,316.00	\$ 47,740.00	
64		(1'-9" W) Lavatory Base Cabinets	LF	63	10%	69	\$ 185.00	\$ 12,820.50	0.7	\$ 50.00	\$ 35.00	\$ 2,425.50	\$ 15,246.00	
<b>Countertop</b>														
<b>1st Floor</b>														
65		(2'-0" W) Countertop	SF	70	10%	77	\$ 90.00	\$ 6,930.00	0.28	\$ 50.00	\$ 14.00	\$ 1,078.00	\$ 8,008.00	
<b>2nd Floor</b>														
66		(1'-9" W) Countertop	SF	111	10%	122	\$ 90.00	\$ 10,989.00	0.28	\$ 50.00	\$ 14.00	\$ 1,709.40	\$ 12,698.40	
<b>Subtotal (Wood &amp; Plastic Composites)</b>								<b>\$ 247,359</b>				<b>\$ 69,493</b>	<b>\$ 12,698.40</b>	<b>\$ 316,852</b>

<b>DIVISION 07- THERMAL &amp; MOISTURE PROTECTION</b>														
<b>Roof</b>														
67	A10.3	Fascia	LF	396	10%	436	\$ 4.10	\$ 1,785.96	0.048	\$ 50.00	\$ 2.40	\$ 1,045.44	\$ 2,831.40	
68		2" W Soffit	SF	792	10%	871	\$ 2.33	\$ 2,029.90	0.024	\$ 50.00	\$ 1.20	\$ 1,045.44	\$ 3,075.34	
68		Aluminum Gutter	LF	308	10%	339	\$ 2.80	\$ 948.64	0.06	\$ 50.00	\$ 3.00	\$ 1,016.40	\$ 1,965.04	
69		R-11 Batt Insulation (Please Revise Insulation Price)	SF	6488	10%	7137	\$ 0.95	\$ 6,779.96	0.018	\$ 50.00	\$ 0.90	\$ 6,423.12	\$ 13,203.08	
<b>Subtotal (Openings)</b>								<b>\$ 11,544</b>				<b>\$ 9,530</b>	<b>\$ 21,075</b>	

<b>DIVISION 08- OPENINGS</b>														
<b>Doors</b>														
70		"D01" (7'-2"x3'-4") Hollow Metal Door W/ Frame	EA	1	0%	1	\$ 785.62	\$ 785.62	2.2	\$ 50.00	\$ 110.00	\$ 110.00	\$ 895.62	
71		"D02-D14" (6'-8"x2'-10") Wooden Door W/ Frame	EA	70	0%	70	\$ 450.00	\$ 31,500.00	2.25	\$ 50.00	\$ 112.50	\$ 7,875.00	\$ 39,375.00	
72		"D15" (6'-8"x2'-10") Pocket Wooden Door W/ Frame	EA	7	0%	7	\$ 600.00	\$ 4,200.00	2.25	\$ 50.00	\$ 112.50	\$ 787.50	\$ 4,987.50	
73		"D05" (7'-6"x3'-2") Glaze Door W/ Aluminum Frame	EA	1	0%	1	\$ 785.62	\$ 785.62	2.2	\$ 50.00	\$ 110.00	\$ 110.00	\$ 895.62	
74		"D06" (5'-1"x5'-3") Wooden Door W/ Frame	EA	1	0%	1	\$ 785.62	\$ 785.62	2.2	\$ 50.00	\$ 110.00	\$ 110.00	\$ 895.62	
75		"D09" (6'-8"x3'-5") Wooden Door W/ Frame	EA	1	0%	1	\$ 785.62	\$ 785.62	2.2	\$ 50.00	\$ 110.00	\$ 110.00	\$ 895.62	
76		"D13" (6'-8"x4'-10") Wooden Door W/ Frame	EA	1	0%	1	\$ 785.62	\$ 785.62	2.2	\$ 50.00	\$ 110.00	\$ 110.00	\$ 895.62	
<b>Hardware's</b>														
77		"D01 & D05" (GRADE 2 MECHANICAL OR SIMILAR-HEAVY DUTY SINGLE INTERCONNECTED LOCKSET SURFACE MOUNTED CLOSER US 26D FINISH; CLOSER TO BE 689 FINISH	EA	14	0%	14	\$ 784.32	\$ 10,980.48	1.99	\$ 50.00	\$ 99.50	\$ 1,393.00	\$ 12,373.48	
78	A10.3	"D02, D03, D04, D05 - D15" GRADE 3 LEVER SETS (FROM GMP-HARD NUMBER) US 26D FINISH	EA	68	0%	68	\$ 211.00	\$ 14,348.00	1.1	\$ 50.00	\$ 55.00	\$ 3,740.00	\$ 18,088.00	
<b>Windows</b>														
79		"WN1" (6'-7"x6'-0") Glass Panel - Aluminum Frame	EA	6	0%	6	\$ 668.00	\$ 4,008.00	2.32	\$ 50.00	\$ 116.00	\$ 696.00	\$ 4,704.00	
80		"WN2" (5'-10"x4'-0") Glass Panel - Aluminum Frame	EA	7	0%	7	\$ 668.00	\$ 4,676.00	2.32	\$ 50.00	\$ 116.00	\$ 812.00	\$ 5,488.00	
81		"WN3" (2'-11"x2'-0") Glass Panel - Aluminum Frame	EA	7	0%	7	\$ 560.00	\$ 3,920.00	2	\$ 50.00	\$ 100.00	\$ 700.00	\$ 4,620.00	
82		"WN4" (5'-11"x4'-0") Glass Panel - Aluminum Frame	EA	8	0%	8	\$ 668.00	\$ 5,344.00	2.32	\$ 50.00	\$ 116.00	\$ 928.00	\$ 6,272.00	
83		"WN5" (3'-7"x5'-0") Glass Panel - Aluminum Frame	EA	6	0%	6	\$ 560.00	\$ 3,360.00	2	\$ 50.00	\$ 100.00	\$ 600.00	\$ 3,960.00	
84		"WN6" (7'-10"x4'-0") Glass Panel - Aluminum Frame	EA	7	0%	7	\$ 668.00	\$ 4,676.00	2.32	\$ 50.00	\$ 116.00	\$ 812.00	\$ 5,488.00	
85		"WN7" (2'-11"x2'-0") Glass Panel - Aluminum Frame	EA	7	0%	7	\$ 350.00	\$ 2,450.00	1.5	\$ 50.00	\$ 75.00	\$ 525.00	\$ 2,975.00	
86		"WN8" (2'-0"x2'-0") Glass Panel - Aluminum Frame	EA	8	0%	8	\$ 350.00	\$ 2,800.00	1.5	\$ 50.00	\$ 75.00	\$ 600.00	\$ 3,400.00	
<b>Backer Rod &amp; Sealant</b>														
87		Backer Rod & Sealant For Doors	LF	2663	10%	2929	\$ 0.60	\$ 1,757.58	0.01	\$ 50.00	\$ 0.50	\$ 1,464.65	\$ 3,222.23	
88		Backer Rod & Sealant For Windows	LF	1843	10%	2027	\$ 0.60	\$ 1,216.38	0.01	\$ 50.00	\$ 0.50	\$ 1,013.65	\$ 2,230.03	
<b>Subtotal (Openings)</b>								<b>\$ 99,165</b>				<b>\$ 22,497</b>	<b>\$ 121,661</b>	

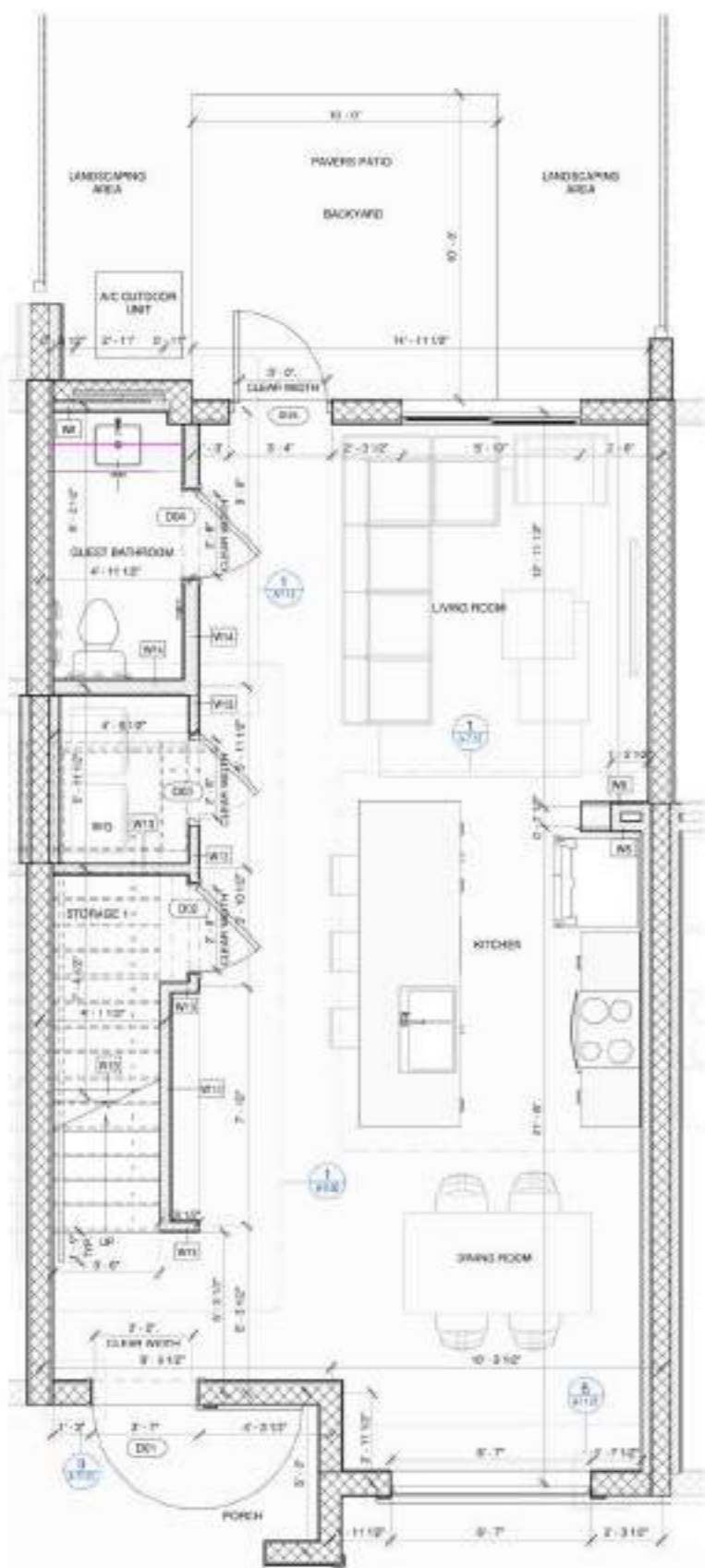
<b>DIVISION 09- FINISHES</b>														
<b>Drywall/Framing</b>														
<b>Ground Floor</b>														
<b>Wall Type "W1" As; (64 LF, 9'-0" H)</b>														
89		4"x8"x1/2" Drywall Gypsum Board (1152 SF)	EA	37	10%	41	\$ 23.68	\$ 963.78	0.512	\$ 50.00	\$ 25.60	\$ 1,041.92	\$ 2,005.70	
90		(2"x4") Wood Studs @ 16" O.C. (49 EA, 442 LF)	SF	1152	10%	1267	\$ 1.35	\$ 1,710.72	0.017	\$ 50.00	\$ 0.85	\$ 1,077.12	\$ 2,787.84	
91		TYVEK Paper Installed	SF	1152	10%	1267	\$ 0.28	\$ 354.82	0.008	\$ 50.00	\$ 0.40	\$ 506.88	\$ 861.70	
92		3-1/2" Fiberglass Insulation (Please Revise Insulation Price)	SF	1152	10%	1267	\$ 1.12	\$ 1,419.26	0.01	\$ 50.00	\$ 0.50	\$ 633.60	\$ 2,052.86	
93		R Value 7.0 FI-Foil Insulation Barrier (Please Revise Insulation Price)	SF	1152	10%	1267	\$ 0.55	\$ 696.96	0.006	\$ 50.00	\$ 0.30	\$ 380.16	\$ 1,077.12	
94		(2"x4") Top & Bottom Plates	LF	384	10%	422	\$ 1.35	\$ 570.24	0.017	\$ 50.00	\$ 0.85	\$ 359.04	\$ 929.28	
95		Sealant (As Required)	LF	256	10%	282	\$ 0.25	\$ 70.40	0.01	\$ 50.00	\$ 0.50	\$ 140.80	\$ 211.20	
<b>Wall Type "W2 Furring" As; (121 LF, 9'-0" H)</b>														
96		4"x8"x1/2" Drywall Gypsum Board (2178 SF)	EA	69	10%	76	\$ 23.68	\$ 1,797.31	0.512	\$ 50.00	\$ 25.60	\$ 1,943.04	\$ 3,740.35	
97		3/4" Wood Furring @16" O.C	SF	2178	10%	2396	\$ 1.15	\$ 2,755.17	0.017	\$ 50.00	\$ 0.85	\$ 2,036.43	\$ 4,791.60	
98		TYVEK Paper Installed	SF	2178	10%	2396	\$ 0.28	\$ 670.82	0.008	\$ 50.00	\$ 0.40	\$ 958.32	\$ 1,629.14	
99		R-4.1 Min Insulation (Please Revise Insulation Price)	SF	2178	10%	2396	\$ 1.10	\$ 2,635.38	0.01	\$ 50.00	\$ 0.50	\$ 1,197.90	\$ 3,833.28	
100		Sealant (As Required)	LF	484	10%	532	\$ 0.25	\$ 133.10	0.01	\$ 50.00	\$ 0.50	\$ 266.20	\$ 399.30	
<b>Wall Type "W3" As; (22 LF, 9'-0" H)</b>														
101		4"x8"x1/2" Drywall Gypsum Board (396 SF)	EA	13	10%	14	\$ 23.68	\$ 338.62	0.512	\$ 50.00	\$ 25.60	\$ 366.08	\$ 704.70	
102		(2"x4") Wood Studs @ 16" O.C. (18 EA, 158 LF)	SF	198	10%	218	\$ 1.35	\$ 294.03	0.017	\$ 50.00	\$ 0.85	\$ 185.13	\$ 479.16	
103		TYVEK Paper Installed	SF	198	10%	218	\$ 0.28	\$ 60.98	0.008	\$ 50.00	\$ 0.40	\$ 87.12	\$ 148.10	
104		3-1/2" Fiberglass Insulation (Please Revise Insulation Price)	SF	198	10%	218	\$ 1.12	\$ 243.94	0.01	\$ 50.00	\$ 0.50	\$ 108.90	\$ 352.84	
105		3/4" Wood Furring @16" O.C	SF	198	10%	218	\$ 1.15	\$ 250.47	0.017	\$ 50.00	\$ 0.85	\$ 185.13	\$ 435.60	
106		TYVEK Paper Installed	SF	198	10%	218	\$ 0.28	\$ 60.98	0.008	\$ 50.00	\$ 0.40	\$ 87.12	\$ 148.10	
107		R Value 7.0 FI-Foil Insulation Barrier (Please Revise Insulation Price)	SF	396	10%	436	\$ 0.55	\$ 239.58	0.006	\$ 50.00	\$ 0.30	\$ 130.68	\$ 370.26	
108		(2"x4") Top & Bottom Plates	LF	66	10%	73	\$ 1.35	\$ 98.01	0.017	\$ 50.00	\$ 0.85	\$ 61.71	\$ 159.72	
109		Sealant (As Required)	LF	88	10%	97	\$ 0.25	\$ 24.20	0.01	\$ 50.00	\$ 0.50	\$ 48.40	\$ 72.60	
<b>Wall Type "W4 Furring" As; (287 LF, 9'-0" H)</b>														
110		4"x8"x1/2" Drywall Gypsum Board (5166 SF)	EA	162	10%	178	\$ 23.68	\$ 4,219.78	0.512	\$ 50.00	\$ 25.60	\$ 4,561.92	\$ 8,781.70	
111		3/4" Wood Furring @16" O.C	SF	5166	10%	5683	\$ 1.15	\$ 6,534.99	0.017	\$ 50.00	\$ 0.85	\$ 4,830.21	\$ 11,365.20	
112		TYVEK Paper Installed	SF	5166	10%	5683	\$ 0.28	\$ 1,591.13	0.008	\$ 50.00	\$ 0.40	\$ 2,273.04	\$ 3,864.17	
113		R-4.1 Min Insulation (Please Revise Insulation Price)	SF	5166	10%	5683	\$ 1.10	\$ 6,250.86	0.01	\$ 50.00	\$ 0.50	\$ 2,841.30	\$ 9,092.16	
114		Sealant (As Required)	LF	1148	10%	1263	\$ 0.25	\$ 315.70	0.01	\$ 50.00	\$ 0.50	\$ 631.40	\$ 947.10	
<b>Wall Type "W5 Furring" As; (46 LF, 9'-0" H)</b>														
115		4"x8"x1/2" Drywall Gypsum Board (1548 SF)	EA	49	10%	54	\$ 23.68	\$ 1,276.35	0.512	\$ 50.00	\$ 25.60	\$ 1,379.84	\$ 2,656.19	
116		3/4" Wood Furring @16" O.C	SF	1548	10%	1703	\$ 1.15	\$ 1,958.22	0.017	\$ 50.00	\$ 0.85	\$ 1,447.38	\$ 3,405.60	
117		TYVEK Paper Installed	SF	1548	10%	1703	\$ 0.28	\$ 476.78	0.008	\$ 50.00	\$ 0.40	\$ 681.12	\$ 1,157.90	
118		R-4.1 Min Insulation (Please Revise Insulation Price)	SF	1548	10%	1703	\$ 1.10	\$ 1,873.08	0.01	\$ 50.00	\$ 0.50	\$ 851.40	\$ 2,724.48	
119		Sealant (As Required)	LF	344	10%	378	\$ 0.25	\$ 94.60	0.01	\$ 50.00	\$ 0.50	\$ 189.20	\$ 283.80	
<b>Wall Type "W6" As; (14 LF, 9'-0" H)</b>														
120		5/8" Dens glass Sheathing Moisture Resistant	SF	252	10%	277	\$ 34.88	\$ 9,668.74	0.64	\$ 50.00	\$ 32.00	\$ 8,870.40	\$ 18,539.14	
121		(2"x4") Wood Studs @ 16												

Building Data Summary	
Project ID:	New Townhome Units
Location:	*****
Scope of Work:	Shell construction - stucco, interior framing, drywall and paint
Date:	Dec 19, 2024

Item #	Ref. Sheet #	Item Description	Unit	Quantity	Wastage	Quantity w/ Wastage	Unit Material Cost	Total Material Cost	Unit Manhour	Hourly Wage	Unit Labor Cost	Total Labor Cost	Sub Cost	Total Trade Cost
140		4'x8'x1/2" Drywall Moisture Resistant Gypsum Board (3060 SF)	EA	96	10%	106	\$ 29.12	\$ 3,075.07	0.576	\$ 50.00	\$ 28.80	\$ 3,041.28	\$ 6,116.35	
141		(2"x4") Wood Studs @ 16" O.C. (129 EA, 1160 LF)	SF	1530	10%	1683	\$ 1.35	\$ 2,272.05	0.017	\$ 50.00	\$ 0.85	\$ 1,430.55	\$ 3,702.60	
142		TYVEK Paper Installed	SF	1530	10%	1683	\$ 0.28	\$ 471.24	0.008	\$ 50.00	\$ 0.40	\$ 673.20	\$ 1,144.44	
143		(2"x4") Top & Bottom Plates	LF	510	10%	561	\$ 1.35	\$ 757.35	0.017	\$ 50.00	\$ 0.85	\$ 476.85	\$ 1,234.20	
144		Sealant (As Required)	LF	680	10%	748	\$ 0.25	\$ 187.00	0.01	\$ 50.00	\$ 0.50	\$ 374.00	\$ 561.00	
		<b>Wall Type "W14" As; (93 LF, 9'-0" H)</b>												
145		4'x8'x1/2" Drywall Moisture Resistant Gypsum Board (1674 SF)	EA	53	10%	58	\$ 29.12	\$ 1,697.70	0.576	\$ 50.00	\$ 28.80	\$ 1,679.04	\$ 3,376.74	
146		(2"x6") Wood Studs @ 16" O.C. (71 EA, 638 LF)	SF	837	10%	921	\$ 1.35	\$ 1,242.95	0.017	\$ 50.00	\$ 0.85	\$ 782.60	\$ 2,025.54	
147		TYVEK Paper Installed	SF	837	10%	921	\$ 0.28	\$ 257.80	0.008	\$ 50.00	\$ 0.40	\$ 368.28	\$ 626.08	
148		(2"x6") Top & Bottom Plates	LF	279	10%	307	\$ 2.35	\$ 721.22	0.017	\$ 50.00	\$ 0.85	\$ 260.87	\$ 982.08	
149		Sealant (As Required)	LF	372	10%	409	\$ 0.25	\$ 102.30	0.01	\$ 50.00	\$ 0.50	\$ 204.60	\$ 306.90	
		<b>2nd Floor</b>												
		<b>Wall Type "W12" As; (82 LF, 9'-0" H)</b>												
150		4'x8'x5/8" Drywall Moisture Resistant Gypsum Board (2214 SF)	EA	70	10%	77	\$ 29.12	\$ 2,242.24	0.576	\$ 50.00	\$ 28.80	\$ 2,217.60	\$ 4,459.84	
151		5/8" Dens glass Sheathing Moisture Resistant	SF	738	10%	812	\$ 1.70	\$ 1,380.06	0.02	\$ 50.00	\$ 1.00	\$ 811.80	\$ 2,191.86	
152		(2"x6") Wood Studs @ 16" O.C. (63 EA, 564 LF)	SF	738	10%	812	\$ 2.35	\$ 1,907.73	0.017	\$ 50.00	\$ 0.85	\$ 690.03	\$ 2,597.76	
153		TYVEK Paper Installed	SF	738	10%	812	\$ 0.28	\$ 227.30	0.008	\$ 50.00	\$ 0.40	\$ 324.72	\$ 552.02	
154		3-1/2" Fiberglass Insulation (Please Revise Insulation Price)	SF	2214	10%	2435	\$ 1.12	\$ 2,727.65	0.01	\$ 50.00	\$ 0.50	\$ 1,217.70	\$ 3,945.35	
155		R Value 7.0 FI-Foil Insulation Barrier (Please Revise Insulation Price)	SF	2214	10%	2435	\$ 0.55	\$ 1,339.47	0.006	\$ 50.00	\$ 0.30	\$ 730.62	\$ 2,070.09	
156		(2"x6") Top & Bottom Plates	LF	492	10%	541	\$ 2.35	\$ 1,271.82	0.017	\$ 50.00	\$ 0.85	\$ 460.02	\$ 1,731.84	
157		Sealant (As Required)	LF	492	10%	541	\$ 0.25	\$ 135.30	0.01	\$ 50.00	\$ 0.50	\$ 270.60	\$ 405.90	
		<b>Wall Type "W10" As; (83 LF, 19'-0" H)</b>												
158		4'x8'x5/8" Drywall Moisture Resistant Gypsum Board (6308 SF)	EA	198	10%	218	\$ 29.12	\$ 6,342.34	0.576	\$ 50.00	\$ 28.80	\$ 6,272.64	\$ 12,614.98	
159		(2"x6") Wood Studs @ 16" O.C. (63 EA, 1205 LF)	SF	1577	10%	1735	\$ 2.35	\$ 4,076.55	0.017	\$ 50.00	\$ 0.85	\$ 1,474.50	\$ 5,551.04	
160		TYVEK Paper Installed	SF	1577	10%	1735	\$ 0.28	\$ 485.72	0.008	\$ 50.00	\$ 0.40	\$ 693.88	\$ 1,179.60	
161		5-1/2" Fiberglass Insulation (Please Revise Insulation Price)	SF	6308	10%	6939	\$ 1.55	\$ 10,755.14	0.01	\$ 50.00	\$ 0.50	\$ 3,469.40	\$ 14,224.54	
162		R Value 7.0 FI-Foil Insulation Barrier (Please Revise Insulation Price)	SF	6308	10%	6939	\$ 0.55	\$ 3,816.34	0.006	\$ 50.00	\$ 0.30	\$ 2,081.64	\$ 5,897.98	
163		(2"x6") Top & Bottom Plates	LF	498	10%	548	\$ 2.35	\$ 1,287.33	0.017	\$ 50.00	\$ 0.85	\$ 465.63	\$ 1,752.96	
164		Sealant (As Required)	LF	498	10%	548	\$ 0.25	\$ 136.95	0.01	\$ 50.00	\$ 0.50	\$ 273.90	\$ 410.85	
		<b>Wall Type "W10" As; (153 LF, 14'-6" H)</b>												
165		4'x8'x5/8" Drywall Moisture Resistant Gypsum Board (8874 SF)	EA	278	10%	306	\$ 29.12	\$ 8,904.90	0.576	\$ 50.00	\$ 28.80	\$ 8,807.04	\$ 17,719.94	
166		(2"x6") Wood Studs @ 16" O.C. (116 EA, 1683 LF)	SF	2219	10%	2441	\$ 2.35	\$ 5,736.12	0.017	\$ 50.00	\$ 0.85	\$ 2,074.77	\$ 7,810.88	
167		TYVEK Paper Installed	SF	2219	10%	2441	\$ 0.28	\$ 683.45	0.008	\$ 50.00	\$ 0.40	\$ 976.36	\$ 1,659.81	
168		5-1/2" Fiberglass Insulation (Please Revise Insulation Price)	SF	8874	10%	9761	\$ 1.55	\$ 15,130.17	0.01	\$ 50.00	\$ 0.50	\$ 4,880.70	\$ 20,010.87	
169		R Value 7.0 FI-Foil Insulation Barrier (Please Revise Insulation Price)	SF	8874	10%	9761	\$ 0.55	\$ 5,368.77	0.006	\$ 50.00	\$ 0.30	\$ 2,928.42	\$ 8,297.19	
170		(2"x6") Top & Bottom Plates	LF	918	10%	1010	\$ 2.35	\$ 2,373.03	0.017	\$ 50.00	\$ 0.85	\$ 858.33	\$ 3,231.36	
171		Sealant (As Required)	LF	918	10%	1010	\$ 0.25	\$ 252.45	0.01	\$ 50.00	\$ 0.50	\$ 504.90	\$ 757.35	
		<b>Wall Type "W11" As; (41 LF, 17'-0" H)</b>												
172		4'x8'x1/2" Drywall Moisture Resistant Gypsum Board (1394 SF)	EA	44	10%	48	\$ 29.12	\$ 1,409.41	0.576	\$ 50.00	\$ 28.80	\$ 1,393.92	\$ 2,803.33	
173		(2"x6") Wood Studs @ 16" O.C. (32 EA, 541 LF)	SF	697	10%	767	\$ 2.35	\$ 1,801.75	0.017	\$ 50.00	\$ 0.85	\$ 651.70	\$ 2,453.44	
174		TYVEK Paper Installed	SF	697	10%	767	\$ 0.28	\$ 214.68	0.008	\$ 50.00	\$ 0.40	\$ 306.68	\$ 521.36	
175		(2"x6") Top & Bottom Plates	LF	123	10%	135	\$ 2.35	\$ 317.96	0.017	\$ 50.00	\$ 0.85	\$ 115.01	\$ 432.96	
176		Sealant (As Required)	LF	164	10%	180	\$ 0.25	\$ 45.10	0.01	\$ 50.00	\$ 0.50	\$ 90.20	\$ 135.30	
		<b>Wall Type "W12" As; (76 LF, 9'-0" H)</b>												
177		4'x8'x5/8" Drywall Moisture Resistant Gypsum Board (2052 SF)	EA	65	10%	72	\$ 29.12	\$ 2,082.08	0.576	\$ 50.00	\$ 28.80	\$ 2,059.20	\$ 4,141.28	
178		5/8" Dens glass Sheathing Moisture Resistant	SF	684	10%	752	\$ 1.70	\$ 1,279.08	0.02	\$ 50.00	\$ 1.00	\$ 752.40	\$ 2,031.48	
179		(2"x6") Wood Studs @ 16" O.C. (58 EA, 523 LF)	SF	684	10%	752	\$ 2.35	\$ 1,768.14	0.017	\$ 50.00	\$ 0.85	\$ 639.54	\$ 2,407.68	
180		TYVEK Paper Installed	SF	684	10%	752	\$ 0.28	\$ 210.67	0.008	\$ 50.00	\$ 0.40	\$ 300.96	\$ 511.63	
181		3-1/2" Fiberglass Insulation (Please Revise Insulation Price)	SF	2052	10%	2257	\$ 1.12	\$ 2,528.06	0.01	\$ 50.00	\$ 0.50	\$ 1,128.60	\$ 3,656.66	
182		R Value 7.0 FI-Foil Insulation Barrier (Please Revise Insulation Price)	SF	2052	10%	2257	\$ 0.55	\$ 1,241.46	0.006	\$ 50.00	\$ 0.30	\$ 677.16	\$ 1,918.62	
183		(2"x6") Top & Bottom Plates	LF	456	10%	502	\$ 2.35	\$ 1,178.76	0.017	\$ 50.00	\$ 0.85	\$ 426.36	\$ 1,605.12	
184		Sealant (As Required)	LF	456	10%	502	\$ 0.25	\$ 125.40	0.01	\$ 50.00	\$ 0.50	\$ 250.80	\$ 376.20	
		<b>Wall Type "W11" As; (262 LF, 9'-0" H)</b>												
185		4'x8'x1/2" Drywall Moisture Resistant Gypsum Board (4716 SF)	EA	148	10%	163	\$ 29.12	\$ 4,740.74	0.576	\$ 50.00	\$ 28.80	\$ 4,688.64	\$ 9,429.38	
186		(2"x6") Wood Studs @ 16" O.C. (198 EA, 1782 LF)	SF	2358	10%	2594	\$ 2.35	\$ 6,095.43	0.017	\$ 50.00	\$ 0.85	\$ 2,204.73	\$ 8,300.16	
187		TYVEK Paper Installed	SF	2358	10%	2594	\$ 0.28	\$ 726.26	0.008	\$ 50.00	\$ 0.40	\$ 1,037.52	\$ 1,763.78	
188		(2"x6") Top & Bottom Plates	LF	786	10%	865	\$ 2.35	\$ 2,031.81	0.017	\$ 50.00	\$ 0.85	\$ 734.91	\$ 2,766.72	
189		Sealant (As Required)	LF	1048	10%	1153	\$ 0.25	\$ 288.20	0.01	\$ 50.00	\$ 0.50	\$ 576.40	\$ 864.60	
		<b>Wall Type "W14" As; (217 LF, 9'-0" H)</b>												
190		4'x8'x1/2" Drywall Moisture Resistant Gypsum Board (3906 SF)	EA	123	10%	135	\$ 29.12	\$ 3,939.94	0.576	\$ 50.00	\$ 28.80	\$ 3,896.64	\$ 7,836.58	
191		(2"x6") Wood Studs @ 16" O.C. (164 EA, 1475 LF)	SF	1953	10%	2148	\$ 2.35	\$ 5,048.51	0.017	\$ 50.00	\$ 0.85	\$ 1,826.06	\$ 6,874.56	
192		TYVEK Paper Installed	SF	1953	10%	2148	\$ 0.28	\$ 601.52	0.008	\$ 50.00	\$ 0.40	\$ 859.32	\$ 1,460.84	
193		(2"x6") Top & Bottom Plates	LF	651	10%	716	\$ 2.35	\$ 1,682.84	0.017	\$ 50.00	\$ 0.85	\$ 608.69	\$ 2,291.52	
194		Sealant (As Required)	LF	868	10%	955	\$ 0.25	\$ 238.70	0.01	\$ 50.00	\$ 0.50	\$ 477.40	\$ 716.10	
		<b>Wall Type "W8" As; (39 LF, 9'-0" H)</b>												
195		4'x8'x1/2" Drywall Moisture Resistant Gypsum Board (351 SF)	EA	11	10%	12	\$ 29.12	\$ 352.35	0.576	\$ 50.00	\$ 28.80	\$ 348.48	\$ 700.83	
196		(2"x6") Wood Studs @ 16" O.C. (30 EA, 273 LF)	SF	351	10%	386	\$ 2.35	\$ 907.34	0.017	\$ 50.00	\$ 0.85	\$ 328.19	\$ 1,235.52	
197		TYVEK Paper Installed	SF	351	10%	386	\$ 0.28	\$ 108.11	0.008	\$ 50.00	\$ 0.40	\$ 154.44	\$ 262.55	
198		(2"x6") Top & Bottom Plates	LF	117	10%	129	\$ 2.35	\$ 302.45	0.017	\$ 50.00	\$ 0.85	\$ 109.40	\$ 411.84	
199		Sealant (As Required)	LF	78	10%	86	\$ 0.25	\$ 21.45	0.01	\$ 50.00	\$ 0.50	\$ 42.90	\$ 64.35	
		<b>Wall Type "W13" As; (703 LF, 9'-0" H)</b>												
200		4'x8'x1/2" Drywall Moisture Resistant Gypsum Board (12654 SF)	EA	396	10%	436	\$ 29.12	\$ 12,684.67	0.576	\$ 50.00	\$ 28.80	\$ 12,545.28	\$ 25,229.95	
201		(2"x4") Wood Studs @ 16" O.C. (530 EA, 4765 LF)	SF	6327	10%	6960	\$ 1.35	\$ 9,395.60	0.017	\$ 50.00	\$ 0.85	\$ 5,915.75	\$ 15,311.34	
202		TYVEK Paper Installed	SF	6327	10%	6960	\$ 0.28	\$ 1,948.72	0.008	\$ 50.00	\$ 0.40	\$ 2,783.88	\$ 4,732.60	
203		(2"x4") Top & Bottom Plates	LF	2109	10%	2320	\$ 1.35	\$ 3,131.87	0.017	\$ 50.00	\$ 0.85	\$ 1,971.92	\$ 5,103.78	
204		Sealant (As Required)	LF	2812	10%	3093	\$ 0.25	\$ 773.30	0.01	\$ 50.00	\$ 0.50	\$ 1,546.60	\$ 2,319.90	
		<b>Drywall Screws</b>	EA	2805	10%	3086	\$ 0.03	\$ 92.57	0.001	\$ 50.00	\$ 0.05	\$ 154.28	\$ 246.84	
		<b>Tape Joints</b>	LF	44992	10%	49491	\$ 0.02	\$ 989.82	0.01	\$ 50.00	\$ 0.50	\$ 24,745.60	\$ 25,735.42	
		<b>Mudding</b>	LBS	177	10%	195	\$ 0.50	\$ 97.44	0.22	\$ 50.00	\$ 11.00	\$ 2,143.59	\$ 2,241.02	
		<b>Ceiling</b>												
		<b>Ground Floor</b>												
208		1/2" Gypsum Board Ceiling -SAG Resistant W/1"x3" Wood Strips	SF	4071	10%	4478	\$ 1.10	\$ 4,925.91	0.028	\$ 50.00	\$ 1.40	\$ 6,269.34	\$ 11,195.25	
209		5/8" Smooth Fiber Cement Soffit Board -SAG Resistant	SF	751	10%	826	\$ 1.10	\$ 908.71	0.028	\$ 50.00	\$ 1.40	\$ 1,156.54	\$ 2,065.25	
		<b>2nd Floor</b>												
210		1/2" Gypsum Board Ceiling -SAG Resistant W/1"x3" Wood Strips	SF	4755	10%	5231	\$ 1.10	\$ 5,753.55	0.028	\$ 50.00	\$ 1.40	\$ 7,322.70	\$ 13,076.25	
211		5/8" Smooth Fiber Cement Soffit Board -SAG Resistant	SF	546	10%	601	\$ 1.10	\$ 660.66	0.028	\$ 50.00	\$ 1.40	\$ 840.84	\$ 1,501.50	
		<b>Flooring</b>												
		<b>Ground Floor</b>												
212		Ceramic Tile (Color Selected By Owner)	SF	4704	10%	5174	\$ 4.58	\$ 23,698.75	0.092	\$ 50.00	\$ 4.60	\$ 23,8		

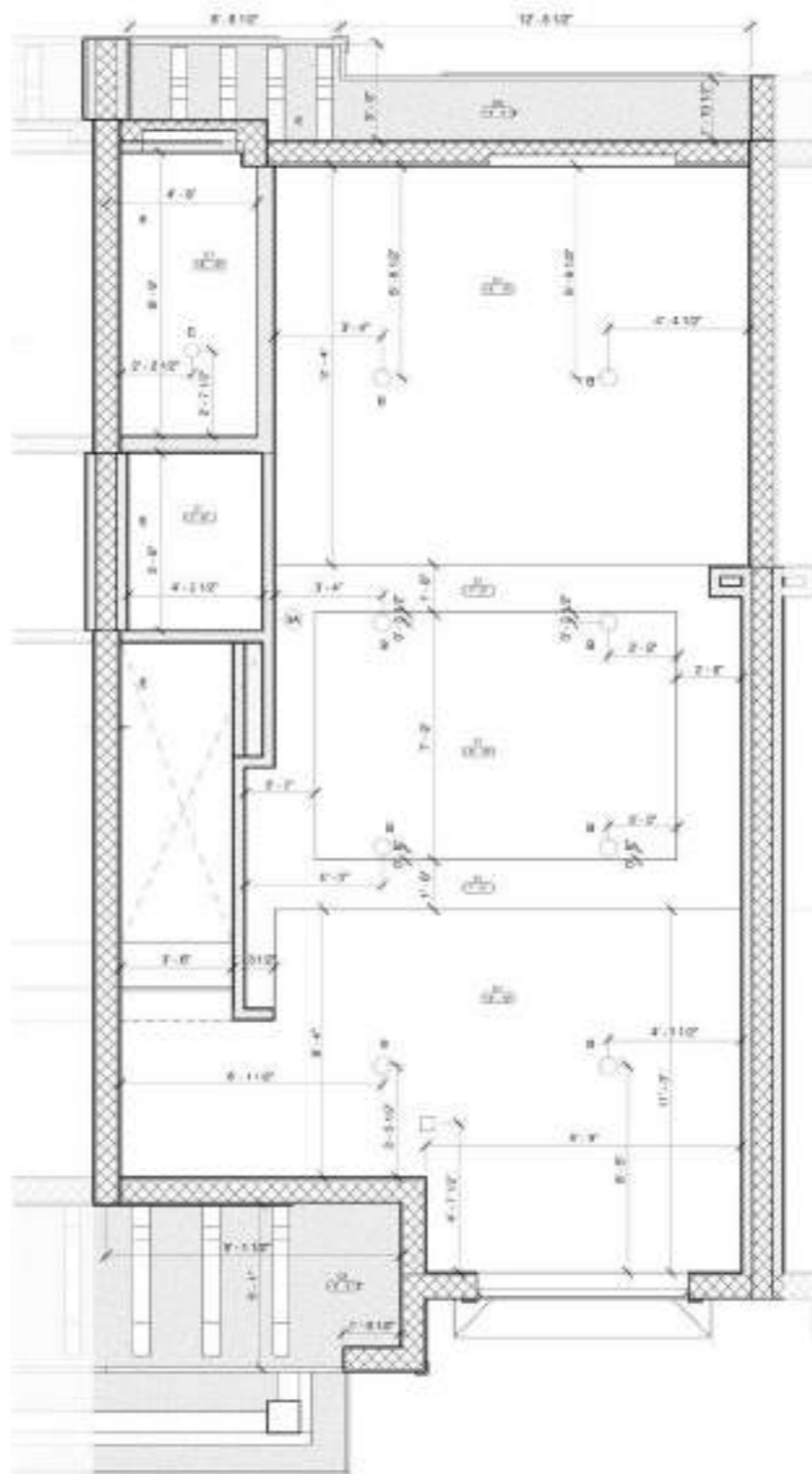






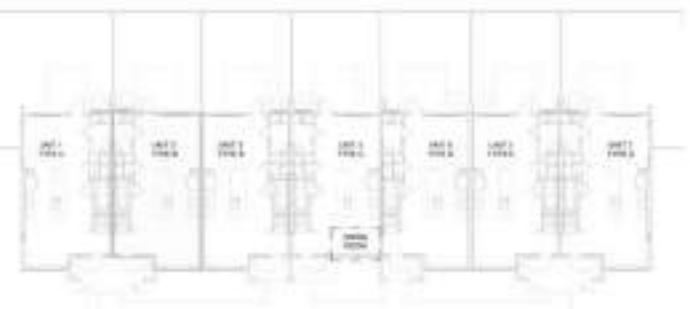
(2'-0" W) Lavatory Bas... 4.3 FT

1 ENLARGED GROUND FLOOR PLAN  
28" x 11"

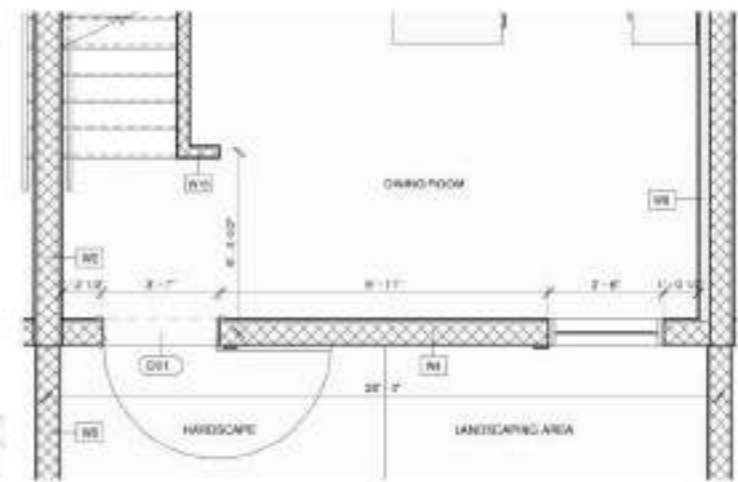


2 ENLARGED GROUND FLOOR RCP  
28" x 11"

REFLECTED CEILING PLAN LEGEND		FINISHES NOTES
TYPE	DESCRIPTION	1. ALL PAINT AND STAIN MUST ADHERE TO THE SUBSTRATE TO THE SATISFACTION OF THE CLIENT. PROVIDE MINIMUM TWO COAT COVERAGE. 2. ALL PAINT AND STAIN PRODUCTS MUST BE APPLIED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDED APPLICATION INSTRUCTIONS. 3. CONTRACTOR TO VERIFY ALL MEASUREMENTS, QUANTITIES AND TAKE OFFS IN THE FIELD. 4. ALL DRYWALL SURFACES TO BE FINISHED SHALL RECEIVE ONE COAT OF SELECT AND APPROVED COLOR PAINT. 5. THIS PLAN IS TO BE USED FOR BIDDING ONLY. FINAL COLOR PLAN WILL BE USED FOR FINISH WORK. 6. PAINTING CONTRACTOR IS RESPONSIBLE FOR ALL INTERIOR FINISH CALLING. 7. ALL JOINTS AND INTERIOR ANGLES HAVE TAPE, SANDED IN JOINT COMPOUND AND TWO SEPARATE COATS OF JOINT COMPOUND APPLIED OVER A FLAT JOINTS AND ONE SEPARATE COAT OF JOINT COMPOUND APPLIED OVER INTERIOR ANGLES. FASTENER HEADS AND ACCESSORIES SHALL BE COVERED WITH THREE SEPARATE COATS OF JOINT COMPOUND. ALL JOINT COMPOUND SHALL BE SMOOTH AND FREE FROM MARKS AND RIDGES. 8. WEATHERPROOFING SHALL BE PROVIDED AT ALL AREAS. 9. FOR ADDITIONAL FIRE RATED INFORMATION OF WALL AND PARTITION REFER TO LIFE SAFETY PLANS. 10. ANY INSTALLED INSULATION PRODUCT SHALL BE FREE OF FORMALDEHYDE. 11. PROVIDE CALLING AT ALL INTERIOR NON-MOUNTING JOINTS WINDOW FRAMES, DOOR FRAMES AND THE LIKE. CLEAN ALL JOINTS AND PRIME AS NEEDED FOR FULL ADHESION. 12. ALL GYPSUM BOARD ASSEMBLIES SHALL BE TYPED, TROWEL ED AND SANDED TO PROVIDE A SMOOTH EVEN SURFACE. 13. ALL ALUMINUM COMPONENT TO BE FINISHED WITH AN IMITATE THE FINISH OF THE FINISH AND A THE FINISH COATED PLASTIC OVER COATING CONTAINING "LOW VOC" RESIN OR APPROVED EQUAL. COMPLY WITH MARRAM "METAL FINISHES MANUAL" FOR FINISH DESIGNATIONS AND APPLICATION RECOMMENDATIONS.
□	0.04 1/2" GYPSUM BOARD CEILING - S&D RESTART	
□	0.02 5/8" SMOOTH FIBER CEMENT SOFFIT BOARD - S&D RESTART	
4	RECESSED LIGHT FIXTURE - SATCO 3110H 4" 48 LUMENS	
8	RECESSED COOPER LIGHTING - ULTRA RIMLED DOWNLIGHT	
D	RECESSED LIGHT FIXTURE - SATCO 5110 1.5" DAMP LOCATION	
E	WALL MOUNTED LIGHT FIXTURE - SATCO NUVO - ARCHITECTURAL WALL SCORPE	
I	WALL MOUNTED LIGHT FIXTURE - SYLVANA - SCREEN CAP LAMP	
Z	RECESSED LIGHT FIXTURE - LED LIGHT - CEILING FAN	
□	INSPECTION HATCH DOOR	



3 KEYPLAN DINING ROOM EXCEPTION  
11" x 20"



4 CONDITION AT 1ST FLOOR - UNIT TYPE 4C  
28" x 11"



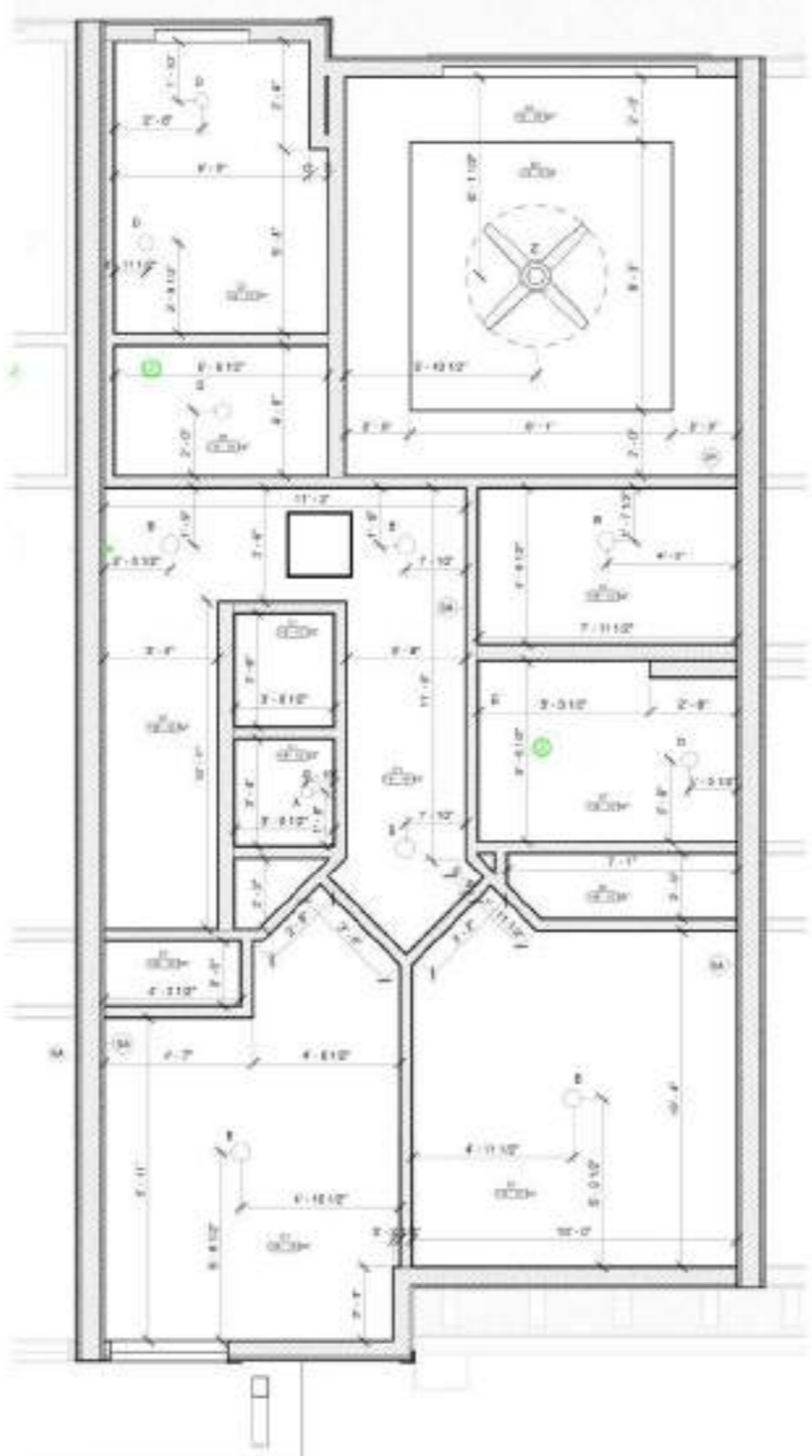
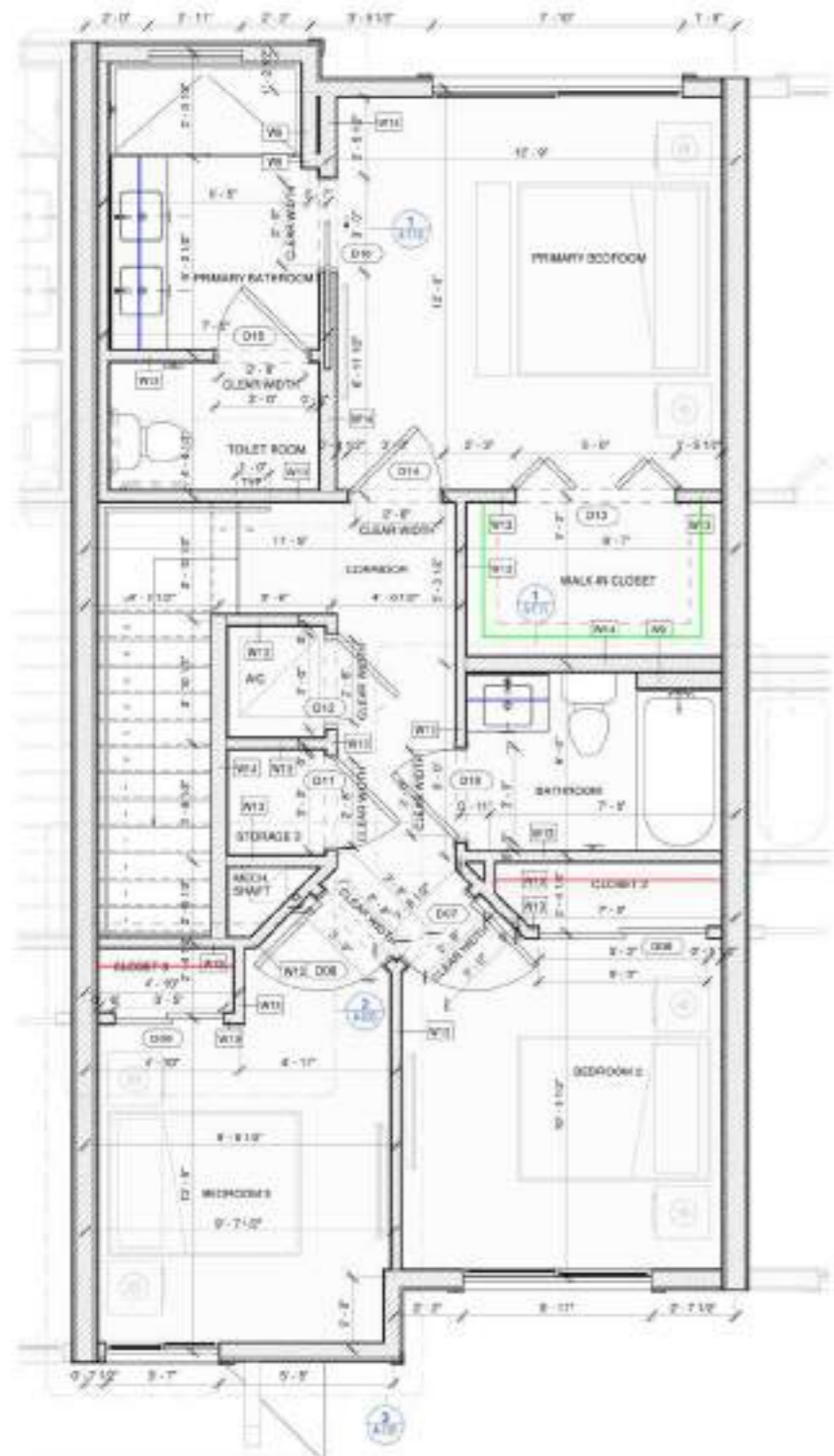
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Revision	No.	Date	Revised description
1	03-27-2024	COMMENTS/DESIGN UPDATE	

Scale: As Noted  
Project Number: 20-040  
Issue Date: 01-31-2024  
Project Location: Celebration, FL  
Contributor: [Name]

Drawing Title:  
**TOWNHOME ENLARGEMENTS  
GROUND FLOOR**  
Sheet Number:  
**A-7.00**

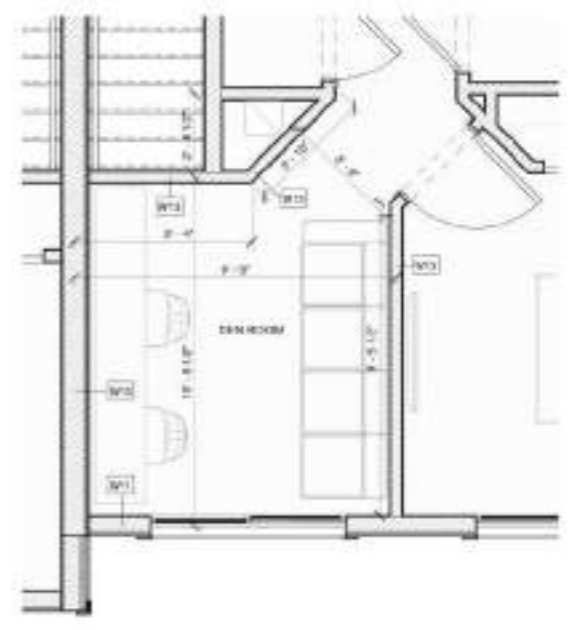
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REFLECTED CEILING PLAN LEGEND		FINISHES NOTES
TYPE	DESCRIPTION	1. ALL PAINT AND STAIN MUST ADHERE TO THE SUBSTRATE TO THE CLEAN, PROPERLY PREPARED SURFACE. PROVIDE MINIMUM TWO COAT COVERAGE. 2. ALL PAINT AND STAIN PRODUCTS MUST BE APPLIED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDED APPLICATION INSTRUCTIONS. 3. CONTRACTOR TO VERIFY ALL MEASUREMENTS, QUANTITIES AND TAKE OFFS IN THE FIELD. 4. ALL DRYWALL SURFACES TO BE FINISHED SHALL RECEIVE ONE COAT OF SELECT AND APPROVED COLOR PAINT. 5. THIS PLAN IS TO BE USED FOR BIDDING ONLY. FINAL COLOR PLAN WILL BE USED FOR FINISH WORK. 6. PAINTING CONTRACTOR IS RESPONSIBLE FOR ALL INTERIOR FINISH CALLING. 7. ALL JOINTS AND INTERIOR ANGLES HAVE TAPE, MORTAR, JOINT COMPOUND AND TWO SEPARATE COATS OF JOINT COMPOUND APPLIED OVER A FLAT JOINTS AND ONE SEPARATE COAT OF JOINT COMPOUND APPLIED OVER INTERIOR ANGLES. FASTENER HEADS AND ACCESSORIES SHALL BE COVERED WITH THREE SEPARATE COATS OF JOINT COMPOUND. ALL JOINT COMPOUND SHALL BE SMOOTH AND FREE FROM MARKS AND RIDGES. 8. WATERPROOFING SHALL BE PROVIDED AT WET AREAS. 9. FOR ADDITIONAL FIRE RATED INFORMATION OF WALL AND PARTITION REFER TO LIFE SAFETY PLAN. 10. ANY INSTALLED INSULATION PRODUCT SHALL BE FREE OF FORMALDEHYDE. 11. PROVIDE CALLING AT ALL INTERIOR NON-MOUNTING JOINTS (WINDOW FRAMES, DOOR FRAMES AND THE LIKE). CLEAN ALL JOINTS AND PRIME AS REQUIRED FOR FULL ADHESION. 12. ALL GYPSUM BOARD ASSEMBLIES SHALL BE TYPED, TRIMMED AND Sanded TO PROVIDE A SMOOTH EVEN SURFACE. 13. ALL ALUMINUM COMPONENT TO BE FINISHED WITH AN INHERENT THE RMO-CURED PRIMER AND A THERMO-CURED FLUOROCARBON COATING CONTAINING TOWNSHIP RESIN OR APPROVED EQUAL, COMPLY WITH MANUFACTURER'S FINISHES MANUAL, TOOL FINISH DESIGNATIONS, AND APPLICATION RECOMMENDATIONS.
□	0.05 1/2" GYPSUM BOARD CEILING - S&D RESTART	
□	0.02 5/8" SMOOTH FIBERCEMENT GYPSUM BOARD - S&D RESTART	
□	RECESSED LIGHT FIXTURE - SATCO 31" HIGH 4" 85 LUMENS	
□	RECESSED COOPER LIGHTING - ULTRA RIMLED DOWNLIGHT	
□	RECESSED LIGHT FIXTURE - SATCO 51" HIGH 15" DAMP LOCATION	
□	WALL MOUNTED LIGHT FIXTURE - SATCO NUVO - ARCHITECTURAL WALL SCENE	
□	WALL MOUNTED LIGHT FIXTURE - SYLVANA - SCREEN CAP LAMP	
□	RECESSED LIGHT FIXTURE - LED LIGHT - CEILING FAN	
□	INSPECTION HATCH DOOR	
FOR ADDITIONAL INFORMATION SEE MECHANICAL, ELECTRICAL, AND FIRE PROTECTION DRAWINGS. NOTE: CONTRACTOR TO FOLLOW MANUFACTURER RECOMMENDATIONS, SPECIFICATIONS AND OR SHOP DRAWINGS TO ASSURE THE ACCURATE INSTALLATION OF CEILING AND THEIR COMPONENTS. ADDITIONALLY CORRECTIVE MEASUREMENTS OF THE PROPOSED MEASUREMENTS AND PROPOSED LOCATION.		



4 KEYPLAN DEN EXCEPTION  
1'-20"



3 CONDITION AT 2ND FLOOR - UNIT TYPE 4C  
20'-10"

(1'-0" W) Closet Shelves  
 (1'-0" W) Walk In Closet  
 (1'-9" W) Lavatory Base Cabinets & (11-9" W) Counter...

11.3 FT  
 15.3 FT  
 8.6 FT

**ENLARGED SECOND FLOOR RCP**  
 30' x 11'



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 James Corio Assoc. Inc. 6/15/2024 10:40:00 AM  
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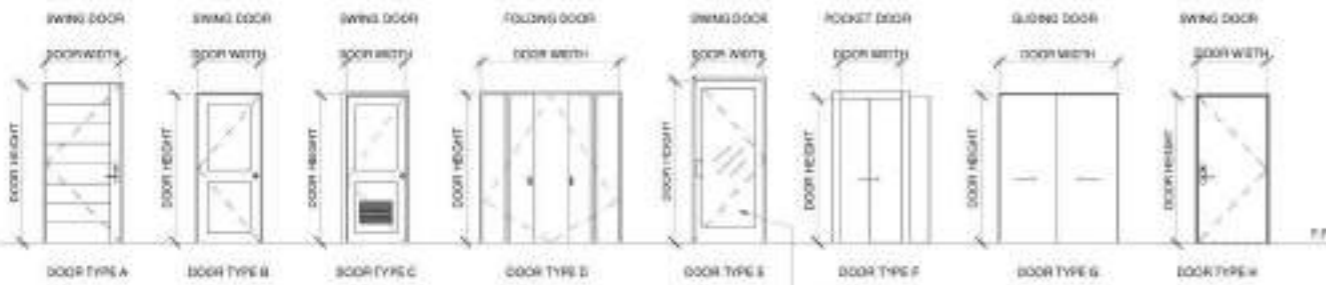
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 Project Location: Condo/Condominium  
 Project Name: Permit Set

Drawing Title:  
**TOWNHOME ENLARGEMENTS  
 SECOND FLOOR**

Sheet Number:  
**A-7.01**

### DOOR SCHEDULE / PER UNIT

TYPE	MARK	SIZE				MATERIAL	FIN	HARDWARE	SAFETY RATED GLAZING	DESCRIPTION
		CLEAR WIDTH	DOOR WIDTH	DOOR HEIGHT	THICKNESS					
<b>GROUND FLOOR</b>										
TYPE A	D01	2'-0"	2'-0"	7'-2"	2'-2"	HS	N/A	N/A	180 DEGREES SWING & ACCESS CONTROL / WOOD APPEARANCE	
TYPE B	D02	2'-0"	2'-10"	6'-8"	2'-2"	WD	NO	N/A	WHITE COLOR	
TYPE C	D04	2'-0"	2'-10"	6'-8"	2'-2"	WD	NO	N/A	WHITE COLOR	
TYPE D	D05	2'-0"	2'-10"	6'-8"	2'-2"	WD	NO	N/A	WHITE COLOR	
TYPE E	D06	2'-0"	2'-10"	6'-8"	2'-2"	WD	NO	N/A	WHITE COLOR	
TYPE F	D07	2'-0"	2'-10"	6'-8"	2'-2"	WD	NO	N/A	WHITE COLOR	
<b>2ND FLOOR</b>										
TYPE B	D08	2'-0"	2'-10"	6'-8"	2'-2"	WD	NO	N/A	WHITE COLOR	
TYPE C	D09	2'-0"	2'-10"	6'-8"	2'-2"	WD	NO	N/A	WHITE COLOR	
TYPE D	D10	2'-0"	2'-10"	6'-8"	2'-2"	WD	NO	N/A	WHITE COLOR	
TYPE E	D11	2'-0"	2'-10"	6'-8"	2'-2"	WD	NO	N/A	WHITE COLOR	
TYPE F	D12	2'-0"	2'-10"	6'-8"	2'-2"	WD	NO	N/A	WHITE COLOR	
TYPE G	D13	2'-0"	2'-10"	6'-8"	2'-2"	WD	NO	N/A	WHITE COLOR	
TYPE H	D14	2'-0"	2'-10"	6'-8"	2'-2"	WD	NO	N/A	WHITE COLOR	
TYPE I	D15	2'-0"	2'-10"	6'-8"	2'-2"	WD	NO	N/A	WHITE COLOR	
TYPE J	D16	2'-0"	2'-10"	6'-8"	2'-2"	WD	NO	N/A	WHITE COLOR	
TYPE K	D17	2'-0"	2'-10"	6'-8"	2'-2"	WD	NO	N/A	WHITE COLOR	
TYPE L	D18	2'-0"	2'-10"	6'-8"	2'-2"	WD	NO	N/A	WHITE COLOR	



### ELEVATIONS

1/4" = 1'-0"

### UNIT DOOR HARDWARE

**ENTRY DOOR HARDWARE**  
 SHALL BE MECHANICAL, IN A LOCK POSITION, WITH A KEY TO OPERATE. HARDWARE SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.

**INTERIOR DOOR HARDWARE**  
 SHALL BE MECHANICAL, IN A LOCK POSITION, WITH A KEY TO OPERATE. HARDWARE SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.

**MECHANICAL DOOR HARDWARE**  
 SHALL BE MECHANICAL, IN A LOCK POSITION, WITH A KEY TO OPERATE. HARDWARE SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.

**CLOSET DOOR HARDWARE**  
 SHALL BE MECHANICAL, IN A LOCK POSITION, WITH A KEY TO OPERATE. HARDWARE SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.

### DOOR MATERIAL LEGEND

- AL ALUMINUM
- AS ASPEN
- BL BLACK
- BR BRASS
- BRN BRASS
- CS CYPRESS
- GL GLASS
- GR GRASS
- HS HARDWOOD
- MC MCDONALD
- MD MDO
- MDX MDO WITH MELAMINE
- NO NONE
- PK PINE
- RD REDWOOD
- SP SPRUCE
- TR TRIPLEWOOD
- WD WOOD
- WH WHITE

### DOOR AND HARDWARE

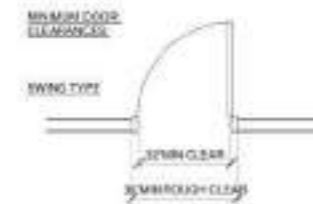
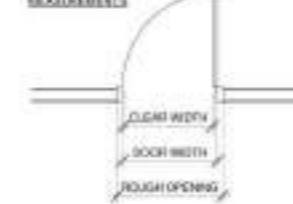
**DOOR LOCATION**  
 ALL DOOR TYPES SHALL BE LOCATED AS SHOWN ON THE DRAWINGS.



**HARDWARE LOCATIONS**  
 ALL HARDWARE SHALL BE LOCATED AS SHOWN ON THE DRAWINGS.



### TYPES OF MEASUREMENTS

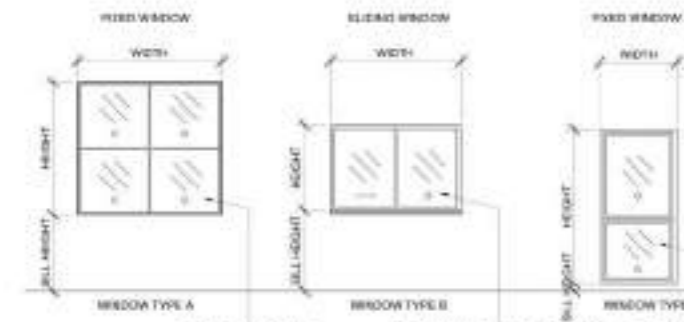


### HARDWARE

TYPE	ENTRY	INTERIOR	MECHANICAL	CLOSET	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL
1	X	X	X	X	X	X	X	X	X
2	X	X	X	X	X	X	X	X	X
3	X	X	X	X	X	X	X	X	X
4	X	X	X	X	X	X	X	X	X
5	X	X	X	X	X	X	X	X	X
6	X	X	X	X	X	X	X	X	X
7	X	X	X	X	X	X	X	X	X
8	X	X	X	X	X	X	X	X	X
9	X	X	X	X	X	X	X	X	X
10	X	X	X	X	X	X	X	X	X
11	X	X	X	X	X	X	X	X	X
12	X	X	X	X	X	X	X	X	X

### WINDOW SCHEDULE

TYPE	MARK	WIDTH	HEIGHT	SILL HEIGHT	MATERIAL	FIN	EGRESS	SAFETY RATED GLAZING	DESCRIPTION
TYPE A	W01	3'-0"	3'-0"	2'-10"	GLASS PANEL - ALUMINUM FRAME	N/A	APPLY	CATEGORY I	
TYPE B	W02	2'-11"	2'-8"	2'-8"	GLASS PANEL - ALUMINUM FRAME	N/A	N/A	N/A	
TYPE C	W03	2'-8"	2'-8"	2'-8"	GLASS PANEL - ALUMINUM FRAME	N/A	N/A	N/A	
TYPE D	W04	2'-8"	2'-8"	2'-8"	GLASS PANEL - ALUMINUM FRAME	N/A	APPLY	CATEGORY I	
TYPE E	W05	2'-8"	2'-8"	2'-8"	GLASS PANEL - ALUMINUM FRAME	N/A	APPLY	CATEGORY I	
<b>2ND FLOOR</b>									
TYPE B	W06	2'-11"	2'-8"	2'-8"	GLASS PANEL - ALUMINUM FRAME	N/A	APPLY	CATEGORY I	
TYPE C	W07	2'-8"	2'-8"	2'-8"	GLASS PANEL - ALUMINUM FRAME	N/A	APPLY	CATEGORY I	
TYPE D	W08	2'-8"	2'-8"	2'-8"	GLASS PANEL - ALUMINUM FRAME	N/A	APPLY	CATEGORY I	
TYPE E	W09	2'-11"	2'-8"	2'-8"	GLASS PANEL - ALUMINUM FRAME	N/A	N/A	N/A	



### ELEVATIONS

1/4" = 1'-0"

TYPE	MARK	DESCRIPTION
d1	1.0 EA	
d2	3.0 EA	
d4	3.0 EA	
d3	3.0 EA	
d5	2.0 EA	
d17	2.0 EA	
d7	4.0 EA	
d8	4.0 EA	
d10	3.0 EA	
d11	3.0 EA	
d14	3.0 EA	
d15	3.0 EA	
d13	3.0 EA	
d16	3.0 EA	
d6	3.0 EA	
d9	3.0 EA	
d12	3.0 EA	

### EGRESS WINDOW



MINIMUM CLEARANCE SHALL BE MAINTAINED AS SHOWN ON THE DRAWINGS.

MINIMUM CLEARANCE SHALL BE MAINTAINED AS SHOWN ON THE DRAWINGS.

MINIMUM CLEARANCE SHALL BE MAINTAINED AS SHOWN ON THE DRAWINGS.

### FORCE ENTRY PREVENTION NOTES

- PROVIDE ANTI-KICK AND BURGLARY DEVICES IN ACCORDANCE WITH THE FLORIDA BUILDING CODE.
- ALL LOCKS FOR EXTERIOR DOORS SHALL BE CAPABLE OF RESISTING A FORCE OF 300 LBS. APPLIED IN ANY DIRECTION AND IN ACCORDANCE WITH THE FLORIDA BUILDING CODE.
- ALL SINGLE EXTERIOR SWING DOORS SHALL HAVE A LOCK TO BE KEYPERATED FROM THE EXTERIOR WITH MINIMUM OF 600 POSSIBLE KEY CHANGES OR LOCKING ALK, ANY SINGLE DEADBOLT WITH HARDENED BOLT INSERTS.
- LOCKS OF ALL EXTERIOR DOORS TYPE SWING DOORS SHALL BE BABBETED OR OF SIMILAR FABRICATION TO PREVENT DEFEATING THE PURPOSE OF THE STROKE AND THE INTEGRITY OF THE LOCKS AND LATCHES.
- HANGES ON EXTERIOR DOOR ENVELOPES SHALL HAVE NON-REMOVABLE FINES AND MULTI-POINT SYSTEMS.
- GLASS AND EXTERIOR DOORS SHALL COMPLY WITH THE AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI) WINDOW SHALL BE INSTALLED AND CONSTRUCTED SO THAT NO PANEL CAN BE LIFTED FROM THE TRACKS WHEN IN THE LOCKED POSITION AND SO AS TO COMPLY WITH THE ARCHITECTURAL ALUMINUM GUIDE.

### DOOR, HARDWARE & FINISH NOTES

- ACCESSIBILITY NOTE**
- HANDLES, PULLS, LATCHES, LOCKSETS AND OTHER OPERATING MECHANISMS ON ENTRANCE DOORS, RESTROOMS AND TOILET ROOMS DOORS AND OTHER DOORS WHICH ARE PART OF AN ACCESSIBLE ROUTE SHALL HAVE A SHAPE THAT IS EASY TO GRASP WITH ONE HAND AND WHICH DOES NOT REQUIRE A TIGHT GRASPING, TIGHT FINGERING OR TWISTING OF THE WRIST TO OPERATE.
  - LOCK OPERATED MECHANISM AND U-SHAPED HANDLES ARE ACCEPTABLE DESIGNS. INTERIOR DOOR CLOSER FORCE SHOULD NOT EXCEED 5 LBS. OPERING FORCE.

### DOORS NOTES

- CONTRACTOR SHALL COORDINATE ALL OPENINGS WITH SELECT WINDOWS AND DOOR MANUFACTURER.
- ALL DOOR OPENINGS SHALL HAVE DOUBLE STUDS ON BOTH SIDES.
- ALL ALUMINUM COMPONENT TO BE FINISHED WITH AN ANTI-SCUFF FINISH AND A THERMO-BRAND FINISH OR APPROVED EQUAL. COMPLY WITH MANUFACTURER'S FINISH DESIGNATIONS AND APPLICATION RECOMMENDATIONS.
- THRESHOLD AT DOOR OPENING SHALL NOT EXCEED 1/2\"/>

### EGRESS WINDOWS NOTES

- MODE OF OPERATION SHALL NOT REQUIRE A KEY TO OPEAL. SPECIAL WINDOWS OR DOORS TO BE AVAILABLE THE REQUIRED CLEAR OPENING AND NO PART OF THE OPERATING MECHANISM SHALL BE PLACED HIGHER THAN 4'-0\"/>

### WINDOWS NOTES

- CONTRACTOR SHALL COORDINATE ALL OPENINGS WITH SELECT WINDOWS AND DOOR MANUFACTURER.
- ALL ALUMINUM COMPONENT TO BE FINISHED WITH AN ANTI-SCUFF FINISH AND A THERMO-BRAND FINISH OR APPROVED EQUAL. COMPLY WITH MANUFACTURER'S FINISH DESIGNATIONS AND APPLICATION RECOMMENDATIONS.
- GLAZING ON AN INDIVIDUAL, FIXED OR OPERABLE PANEL SHALL BE CONSIDERED A HAZARDOUS LOCATION AND REQUIRE CATEGORY I SAFETY GLAZING IF THE EXPOSED AREA OF AN INDIVIDUAL PANEL IS GREATER THAN 5 SQUARE FEET. THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 36 INCHES ABOVE THE FLOOR AND THE TOP EDGE OF THE GLAZING IS GREATER THAN 36 INCHES ABOVE THE FLOOR. ALL GLASS COMPONENTS MUST COMPLY WITH ANSI Z97.1, CAT I, SAFETY GLAZING IMPACT TEST.
- WINDOW OPERABLE SHALL PRODUCE SHOP DRAWINGS FOR ARCHITECT REVIEW.
- WINDY CALCULATION BASED ON A FACTOR OF U = 1.1 BUFFT AND OPERABLE UNIT CONSTRUCTION SHALL BE DP-0.78.

### COMPONENTS OF MEANS OF EGRESS

- NO DOORS IN THE PATH OF TRAVEL OF MEANS OF ESCAPE SHALL BE LESS THAN 2'-0\"/>
- EVERY CLOSET DOOR LATCH SHALL BE SUCH THAT THE DOOR CAN OPEN FROM THE INSIDE OF THE CLOSET.
- EVERY BATHROOM DOOR LOCK SHALL BE DESIGNED TO PERMIT THE OPENING OF LOCKED DOOR FROM THE OUTSIDE IN AN EMERGENCY.
- DOORS MAY BE SWINGING OR SLIDING AND ARE EXEMPT FROM THE REQUIREMENTS OF THE FLORIDA BUILDING CODE.
- NO DOOR OR ANY MEANS OF ESCAPE SHALL BE LOCKED AGAINST EGRESS WHEN THE BUILDING IS OCCUPIED. ALL LOCKING DEVICES WHICH OPERATE ON PROTRUSING PINNACLES OR WHICH CANNOT BE EASILY DISENGAGED SHALL BE PROHIBITED.

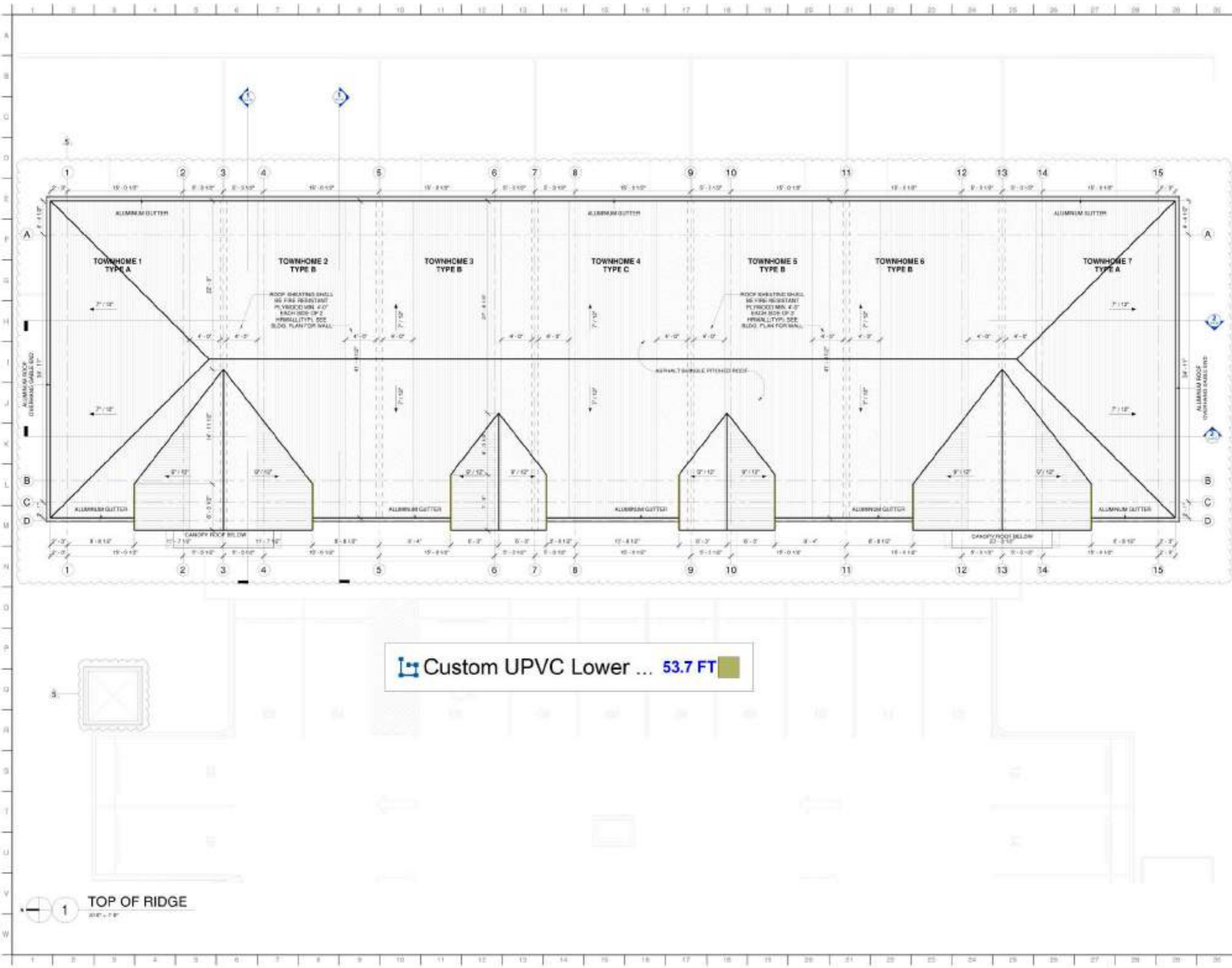
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Revision:

No.	Date	Revised Description
1	03-22-2024	COMMENTS/REVISION UPDATE
2	08-08-2024	CITY COMMENTS

Drawing Title: **WINDOWS & DOORS SCHEDULE**

Sheet Number: **A-10.03**



Custom UPVC Lower ... 53.7 FT

1 TOP OF RIDGE  
30\"/>



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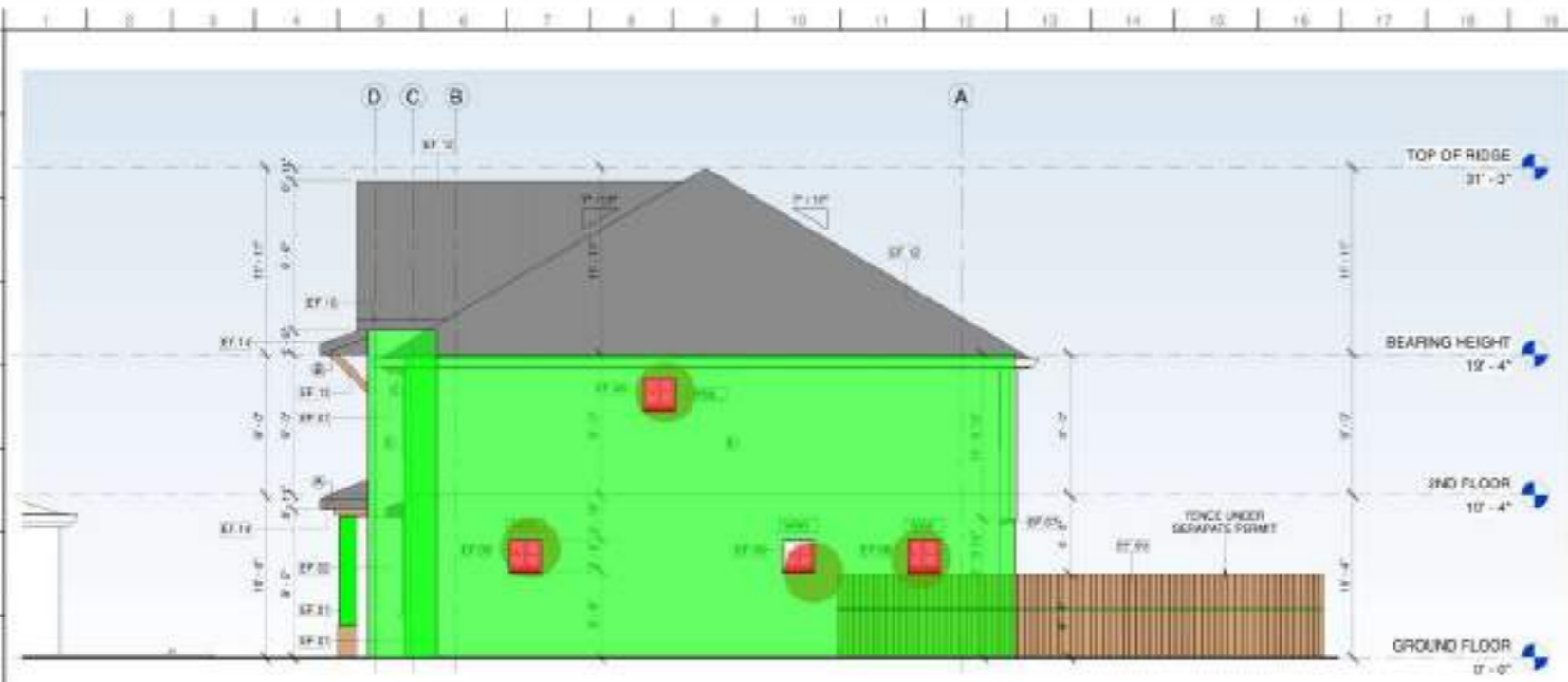
No.	Date	Revision description
1	08-01-2024	CITY COMMENTS

Scale: As Shown  
 Project number: 24-040  
 Issue date: 01-31-2024  
 Project location: Contribution Documents / Permit Set

Drawing title:  
**ROOF FLOOR PLAN**

Sheet number:  
**A-2.20**

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- ELEVATION NOTES**
1. ELEVATION TARGET SYMBOLS ARE TO TOP OF SLAB AND OTHER ELEMENTS AS INDICATED.
  2. REFER TO STRUCTURAL DRAWINGS FOR INFORMATION RELATED TO FOUNDATION BUILDING STRUCTURE AND LAYOUT OF SUCH.
  3. REFER TO GRAPHIC SYMBOLS LEGEND FOR TYPICAL AND CONVENTIONAL MATERIAL DELINEATION. THESE MATERIALS MAY NOT BE NOTED.
  4. EXCEPT FOR SPECIAL CONDITIONS THAT DIFFER FROM THE TYPICAL, REFER TO THE PROJECT SPECIFICATIONS FOR INFORMATION RELATED TO MATERIALS, ATTACHMENTS, AND/OR FINISHES. STANDARDS, AND OTHER RELEVANT INSTALLATION INFORMATION.
  5. REFER TO THE EXTERIOR ELEVATIONS AND FLOOR PLANS FOR LVL, DOOR, AND WINDOW SYMBOLS AND THE REFERENCED NATIONAL WEATHERIZATION.
  6. D.C. TO PAINT SWATCHES ON PORTION OF THE WALL FOR OWNER AND ARCHITECT TO APPROVE PRIOR TO COMMENCEMENT OF PAINTING.
  7. DARK ACCENT COLORS TO HAVE TWO ADDITIONAL COATS OF COMMERCIAL QUALITY SANDLAYER PAINT. MISCELLANEOUS DETAILS TO HAVE THREE COATS OF COMMERCIAL QUALITY TRADE GRADE PAINT.
  8. ALL ROOF TOP EQUIPMENT TO BE SCREENED FROM VIEW.

**ELEVATION KEYNOTES**

TYPE	DESCRIPTION
SP-01	3/4" EXTERIOR SMOOTH STUCCO FINISH WITH WHITE COLOR
SP-02	3/4" SMOOTH PARGE COAT WITH VERTICAL LINES 12" SEPERATION
SP-03	3/4" STUCCO WINDOW TRIM FINISH WITH LIGHT GRAY COLOR
SP-04	ARCHITECTURAL FOLIAGE BRACKETS WOOD APPEARANCE
SP-05	ALUM. GLASS IMPACT RESISTANT WINDOW, BLACK FRAMES & TRANSPARENT GLASS. REFER TO WINDOW SCHEDULE FOR DETAILS. CONTRACTOR TO SUBMIT SHOP DRAWINGS TO A.S. AND BLOC DEPARTMENT FOR REVIEW AND APPROVAL.
SP-06	64" HEIGHT WOLMANIZED OUTDOOR WOOD FENCE
SP-07	UPVC FACIA CAPPED BOARD INSTALLED PER MANUFACTURER'S INSTRUCTIONS WITH BLACK COLOR
SP-08	CHRYSOBRANNE ROOF AGED CEILING REFERENCE COLOR DARK GRAY OR APPROVED EQUAL
SP-09	STRUCTURAL WOLMANIZED WOOD BEAM FOR SECONDARY ROOF. SEE STRUCTURAL SPEC.
SP-10	METAL ROOFING PANEL 5/8" REFERENCE WITH WHITE BLACK COLOR OR APPROVED EQUAL

1 SOUTH ELEVATION  
316' x 1'-0"



3/4" Exterior Smooth Stucco Finish With White Color	2,174.5 SQ FT
3/4" Smooth parge Coat With Vertical Lines 12" Seperation	304.4 SQ FT
64" Height Wolmanized Outdoor Wood Fence	36.1 FT
3/4" Stucco Window Trim Finish With Light Gray Color	269.7 FT
Pilasters, Subdividing the Facade	83.2 FT
*WN8 (2'-0"x2'-0") Glass Panel - Aluminum Frame	4.0
*WN3 (2'-11"x2'-0") Glass Panel - Aluminum Frame	7.0
*WN7 (2'-11"x2'-0") Glass Panel - Aluminum Frame	7.0
*WN6 (7'-10"x4'-0") Glass Panel - Aluminum Frame	7.0
*WN2 (5'-10"x4'-0") Glass Panel - Aluminum Frame	7.0

2 EAST ELEVATION  
316' x 1'-0"



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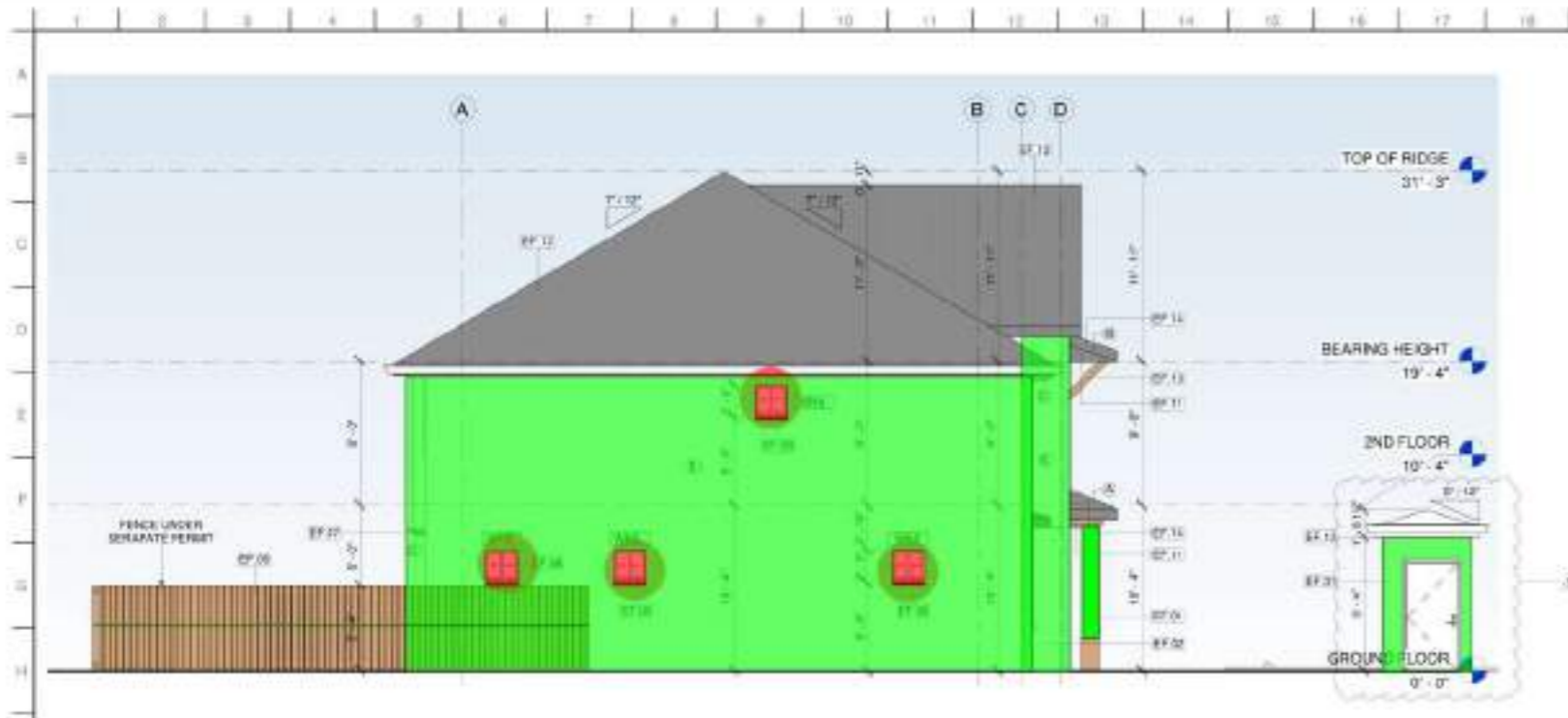
Revisions:

No.	Date	Revised description
1	03-27-2024	COMMENTS/DESIGN UPDATE
2	08-09-2024	CITY COMMENTS

Scale: As Noted  
Project number: 20-040  
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Prepared by: [Name]  
Checked by: [Name]  
Contributor: [Name]  
Project: [Name]

**SOUTH AND EAST ELEVATION**

Sheet number:  
**A-3.01**



**1 NORTH ELEVATION**  
3/10" = 1'-0"

**CAPE CORAL, FLORIDA**  
**CHAPTER 11.1 - CONDITIONAL USES**  
**Section 11.1.A - Multi-family dwellings.**

A MINIMUM OF FOUR OF THE FOLLOWING ARCHITECTURAL ELEMENTS SHALL BE PROVIDED:

- (A) PORCHES ON THE GROUND FLOOR.
- (B) PLASTER, STUCCO COURSES, CHARACTER LINES, OR OTHER SUCH BRANDS OF SUBDIVIDING THE FACADE.
- (C) STRUCTURAL OR DECORATIVE DETAILS (CURLY, DANGLE) FROM THE PRIMARY WALL SURFACES, AS WELL AS LANTERNS, SILL, DOOR AND WINDOW SURROUNDS, DECORATIVE PANELS, ETC.
- (D) DECORATIVE PLANTING OR PLANTING AREAS A MINIMUM OF FIVE FEET IN WIDTH, INTEGRATED INTO THE BUILDING DESIGN OR
- (E) MASONRY IN AT LEAST TWO CONTRASTING TONES OR TEXTURES, ACCOMPANIED BY A CHANGE IN MATERIAL OR COURSE SUCH AS BRICK, NATURAL STONE, BRICK OR STONE VENEER, GLASS, MASONRY STUCCO, DECORATIVE CONCRETE BLOCK, DECORATIVE CONCRETE PANELS, TILE, GLAZED AND FRAMING SYSTEMS, SPLIFFACE OR FLUTED CONCRETE MASONRY, FACTORY GLAZED CONCRETE MASONRY UNITS OR ARCHITECTURAL PRE-CAST CONCRETE.

**ELEVATION NOTES**

1. ELEVATION TARGET SYMBOLS ARE TO TOP OF SLAB AND OTHER ELEMENTS AS INDICATED.
2. REFER TO STRUCTURAL DRAWINGS FOR INFORMATION RELATED TO FOUNDATION BUILDING STRUCTURE AND LAYOUT OF SUCH.
3. REFER TO GRAPHIC SYMBOLS LEGEND FOR TYPICAL AND CONVENTIONAL MATERIAL DELINEATION. THESE MATERIALS MAY NOT BE NOTED.
4. EXCEPT FOR SPECIAL CONDITIONS THAT DIFFER FROM THE TYPICAL, REFER TO THE PROJECT SPECIFICATIONS FOR INFORMATION RELATED TO SUTURE, ATTACHMENTS, ANCHORAGE, REFERENCES, STANDARDS, AND OTHER RELEVANT INSTALLATION INFORMATION.
5. REFER TO THE EXTERIOR ELEVATIONS AND FLOOR PLANS FOR LOCATIONS, DOOR, AND WINDOW SYMBOLS AND THE REFERENCED NATIONAL WEATHERIZATION.
6. O.C. TO PAINT SWATCHES ON PORTION OF THE WALL FOR OWNER AND ARCHITECT TO APPROVE PRIOR TO COMMENCEMENT OF PAINTING.
7. DARK ACCENT COLORS TO HAVE TWO ADDITIONAL COATS OF COMMERCIAL QUALITY GRADE LATEX PAINT.
8. MISCELLANEOUS RETALS TO HAVE THREE COATS OF COMMERCIAL QUALITY TRADE GRADE PAINT.
9. ALL ROOFING EQUIPMENT TO BE SCREENED FROM VIEW.

**ELEVATION KEYNOTES**

TYPE	DESCRIPTION
WF-01	3/4" STUCCO (SMOOTH STUCCO FINISH WITH WHITE COLOR)
WF-02	3/4" SMOOTH PAIGE COAT WITH VERTICAL LINES 12" SEPERATION & CEMENTITIOUS FINISH WITH WHITE COLOR
WF-03	3/4" STUCCO WINDOW TRIM FINISH WITH LIGHT GRAY COLOR
WF-04	3/4" VERTICAL DECORATIVE STUCCO FINISH WITH LIGHT GRAY COLOR
WF-05	3/4" STUCCO WINDOW TRIM FINISH WITH LIGHT BLACK COLOR
WF-06	CLIFFSTONE BOARDWALK FINISH OR APPROVED EQUAL
WF-07	ARCHITECTURAL FORM CONCRETE BLOCK APPEARANCE
WF-08	ALUM. GLASS IMPACT RESISTANT WINDOW, BLACK FRAMES & TRANSPARENT WINDOW. REFER TO WINDOW SCHEDULE FOR DETAILS. CONTRACTOR TO SUBMIT SHOP DRAWINGS TO A/E AND BLDG DEPARTMENT FOR REVIEW AND APPROVAL.
WF-09	64" HEIGHT WOLMANIZED OUTDOOR WOOD FENCE
WF-10	CUSTOM SPIC-LAMER GABLE RAISED ROOF BEAMS INSTALLED PER MANUFACTURER'S INSTRUCTIONS WITH BLACK COLOR
WF-11	ENVIRONMENTAL ROOF AGED CEDAR REFERENCED COLOR DARK GRAY OR APPROVED EQUAL
WF-12	STRUCTURAL WOLMANIZED WOOD BEAM FOR SECONDARY ROOF. SEE STRUCTURAL SPECIFICATIONS METAL ROOFING PANEL IN REFERENCE WITH WHITE BLACK COLOR OR APPROVED EQUAL



**2 WEST ELEVATION**  
3/10" = 1'-0"

3/4" Exterior Smooth Stucco Finish With White Color	1,546.8 SQ FT
3/4" Smooth paige Coat With Vertical Lines 12" Seperation & Cementitious Finish With White Color	860.3 SQ FT
3/4" Stucco Window Trim Finish With Light Gray Color	385.1 FT
3/4" Vertical Decorative Stucco Finish With Light Gray Color	38.0 SQ FT
3/4" Stucco Window Trim Finish With Light Black Color	57.8 FT
Cliffstone Boardwalk Finish With Light Black Color	155.2 SQ FT
64" Height Wolmanized Outdoor Wood Fence	35.9 FT
Plasters, Subdividing the Facade	249.3 FT
• WN5* (3'-7"x5'-0") Glass Panel - Aluminum Frame	8.0
• WN4* (5'-11"x4'-0") Glass Panel - Aluminum Frame	8.0
• WN1* (6'-7"x6'-0") Glass Panel - Aluminum Frame	6.0
• WN8* (2'-0"x2'-0") Glass Panel - Aluminum Frame	4.0
• Vents	4.0



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**Revisions:**

No.	Date	Revised description
1	03-07-2024	COMMENTS/REVISION UPDATE
2	08-08-2024	CITY COMMENTS
3	08-01-2024	CITY COMMENTS

Scale: As Noted  
Project number: 20-440  
Issue date: 01-31-2024  
Prepared by: [Name]  
Checked by: [Name]  
Contributor: [Name]

**NORTH AND WEST ELEVATION**

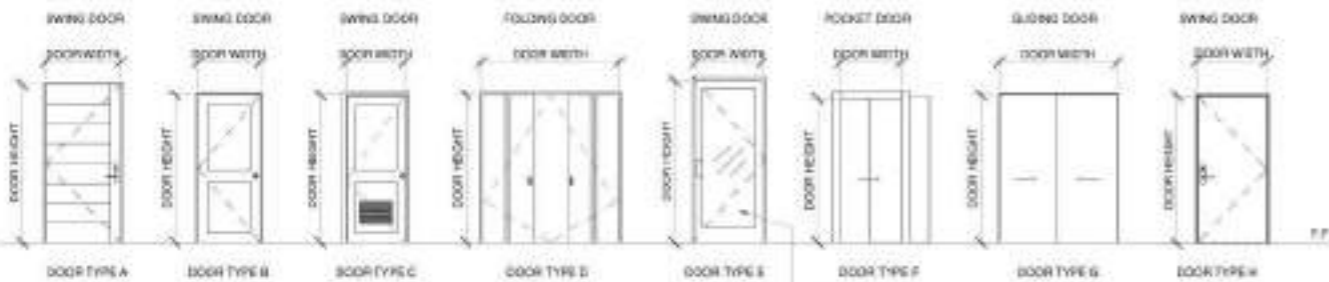
Sheet number:  
**A-3.00**





### DOOR SCHEDULE / PER UNIT

TYPE	MARK	SIZE			MATERIAL	FIN	HARDWARE	SAFETY RATED GLAZING	DESCRIPTION
		CLEAR WIDTH	DOOR WIDTH	DOOR HEIGHT					
<b>GROUND FLOOR</b>									
TYPE A	D01	2'-0"	2'-0"	7'-2"	HS	NH	NA	NA	180 DEGREE SWING & ACCESS CONTROL / WOOD APPEARANCE
TYPE B	D02	2'-0"	2'-0"	6'-8"	WD	NO	NA	NA	WHITE COLOR
TYPE C	D04	2'-0"	2'-0"	6'-8"	WD	NO	NA	NA	WHITE COLOR
TYPE D	D05	2'-0"	2'-0"	6'-8"	WD	NO	NA	NA	WHITE COLOR
TYPE E	D06	2'-0"	2'-0"	7'-0"	AL	GL	NA	NA	CATEGORY 1
TYPE F	D07	2'-0"	2'-0"	6'-8"	HS	NH	NA	NA	WHITE COLOR
<b>2ND FLOOR</b>									
TYPE G	D08	2'-0"	2'-0"	6'-8"	WD	NO	NA	NA	WHITE COLOR
TYPE H	D09	2'-0"	2'-0"	6'-8"	WD	NO	NA	NA	WHITE COLOR
TYPE I	D10	2'-0"	2'-0"	6'-8"	WD	NO	NA	NA	WHITE COLOR
TYPE J	D11	2'-0"	2'-0"	6'-8"	WD	NO	NA	NA	WHITE COLOR
TYPE K	D12	2'-0"	2'-0"	6'-8"	WD	NO	NA	NA	WHITE COLOR
TYPE L	D13	2'-0"	2'-0"	6'-8"	WD	NO	NA	NA	WHITE COLOR
TYPE M	D14	2'-0"	2'-0"	6'-8"	WD	NO	NA	NA	WHITE COLOR



### ELEVATIONS

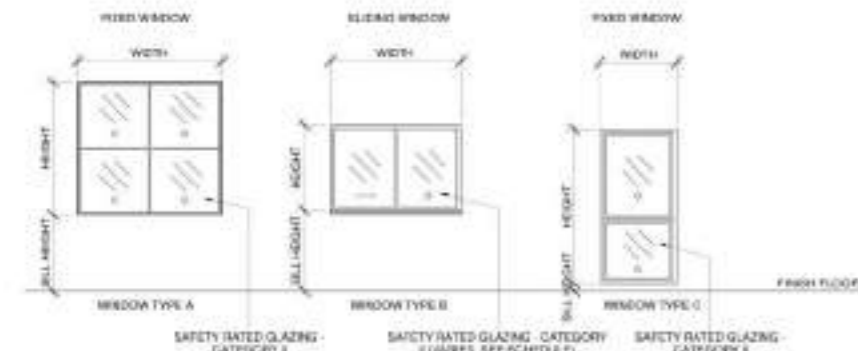
1/4" = 1'-0"

Doors Hardware

50.0

### WINDOW SCHEDULE

TYPE	MARK	WIDTH	HEIGHT	SILL HEIGHT	MATERIAL	FIRE RATING	EGRESS	SAFETY RATED GLAZING
TYPE A	W01	5'-0"	5'-0"	2'-10"	GLASS PANEL - ALUMINUM FRAME	NA	APPLY	CATEGORY 1
TYPE B	W02	2'-11"	2'-8"	5'-0"	GLASS PANEL - ALUMINUM FRAME	NA	NA	NA
TYPE C	W03	2'-8"	2'-8"	3'-4"	GLASS PANEL - ALUMINUM FRAME	NA	NA	NA
TYPE D	W04	2'-8"	7'-8"	2'-4"	GLASS PANEL - ALUMINUM FRAME	NA	APPLY	CATEGORY 1
TYPE E	W05	2'-10"	6'-0"	2'-8"	GLASS PANEL - ALUMINUM FRAME	NA	APPLY	CATEGORY 1
<b>2ND FLOOR</b>								
TYPE F	W06	2'-11"	4'-0"	3'-8"	GLASS PANEL - ALUMINUM FRAME	NA	APPLY	CATEGORY 1
TYPE G	W07	2'-7"	5'-0"	3'-8"	GLASS PANEL - ALUMINUM FRAME	NA	APPLY	CATEGORY 1
TYPE H	W08	7'-10"	4'-8"	3'-8"	GLASS PANEL - ALUMINUM FRAME	NA	APPLY	CATEGORY 1
TYPE I	W09	2'-11"	2'-9"	3'-9"	GLASS PANEL - ALUMINUM FRAME	NA	NA	NA



### ELEVATIONS

1/4" = 1'-0"

### UNIT DOOR HARDWARE

**ENTRY DOOR HARDWARE**  
 SHALL BE AS PER THE FLORIDA BUILDING CODE. ALL LOCKS SHALL BE TO THE EXTERIOR OF THE BUILDING. ALL LOCKS SHALL BE TO THE EXTERIOR OF THE BUILDING. ALL LOCKS SHALL BE TO THE EXTERIOR OF THE BUILDING.

**INTERIOR DOOR HARDWARE**  
 SHALL BE AS PER THE FLORIDA BUILDING CODE. ALL LOCKS SHALL BE TO THE EXTERIOR OF THE BUILDING. ALL LOCKS SHALL BE TO THE EXTERIOR OF THE BUILDING. ALL LOCKS SHALL BE TO THE EXTERIOR OF THE BUILDING.

**MECHANICAL DOOR HARDWARE**  
 SHALL BE AS PER THE FLORIDA BUILDING CODE. ALL LOCKS SHALL BE TO THE EXTERIOR OF THE BUILDING. ALL LOCKS SHALL BE TO THE EXTERIOR OF THE BUILDING. ALL LOCKS SHALL BE TO THE EXTERIOR OF THE BUILDING.

**CLOSET DOOR HARDWARE**  
 SHALL BE AS PER THE FLORIDA BUILDING CODE. ALL LOCKS SHALL BE TO THE EXTERIOR OF THE BUILDING. ALL LOCKS SHALL BE TO THE EXTERIOR OF THE BUILDING. ALL LOCKS SHALL BE TO THE EXTERIOR OF THE BUILDING.

### DOOR MATERIAL LEGEND

AL	ALUMINUM
AS	ASBESTOS
BT	BUTYR
CB	CERAMIC TILE
CL	CLAY
CM	CONCRETE MASONRY
CS	CORRUGATED STEEL
CU	COPPER
GL	GLASS
GR	GRANITE
HS	HARDWOOD
MS	MASONRY
PL	PLASTER
ST	STEEL
TR	TERRAZZO
WC	WOOD COMPOSITE
WT	WET WALL
WV	WET WALL
WY	WYLL
WZ	WYLL

### DOOR AND HARDWARE

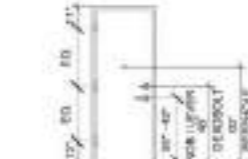
#### DOOR LOCATION

ALL DOOR HARDWARE SHALL BE TO THE EXTERIOR OF THE BUILDING. ALL LOCKS SHALL BE TO THE EXTERIOR OF THE BUILDING. ALL LOCKS SHALL BE TO THE EXTERIOR OF THE BUILDING.

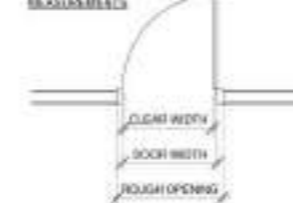


#### HARDWARE LOCATIONS

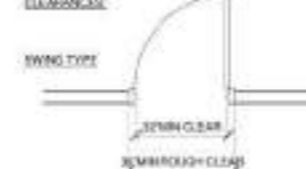
ALL DOOR HARDWARE SHALL BE TO THE EXTERIOR OF THE BUILDING. ALL LOCKS SHALL BE TO THE EXTERIOR OF THE BUILDING. ALL LOCKS SHALL BE TO THE EXTERIOR OF THE BUILDING.



#### TYPES OF MEASUREMENTS



#### MINIMUM DOOR CLEARANCES



### HARDWARE

TYPE	CLASSIFICATION	FINISH	FUNCTION	LOCATION	REMARKS
BT	CLASIFICACION	ACABADO	FUNCION	UBICACION	COMENTARIOS
BT	X	X	X	X	X
BT	X	X	X	X	X
BT	X	X	X	X	X



### EGRESS WINDOW

MINIMUM CLEARANCE SHALL BE 20" WIDE X 24" HIGH (CLEAR). EGRESS WINDOW MAX. SILL HEIGHT ABOVE FINISH FLOOR: 4\"/>

### FORCE ENTRY PREVENTION NOTES

1. PROVIDE ANTI-KICK AND BURGLARY DEVICES IN ACCORDANCE WITH THE FLORIDA BUILDING CODE.
2. ALL LOCKS FOR EXTERIOR DOORS SHALL BE CAPABLE OF RESISTING A FORCE OF 300 LBS. APPLIED IN ANY DIRECTION AND IN ACCORDANCE WITH THE FLORIDA BUILDING CODE.
3. ALL SINGLE EXTERIOR SWING DOORS SHALL HAVE A LOCK TO BE KEYPERATED FROM THE EXTERIOR WITH MINIMUM OF 600 POSSIBLE KEY CHANGES OR LOCKING ALK. ANY SINGLE DEADBOLT WITH HARDENED BOLT INSERTS.
4. HINGES OF ALL EXTERIOR DOORS TYPE SWING DOORS SHALL BE BABBETED OR OF SIMILAR FABRICATION TO PREVENT DEFEATING THE PURPOSE OF THE STROKE AND THE INTEGRITY OF THE LOCKS AND LATCHES.
5. HINGES ON EXTERIOR DOOR TYPE SWING DOORS SHALL HAVE NON-FERROUS HINGE AND NON-FERROUS SCREWS.
6. GLASS AND EXTERIOR DOORS SHALL COMPLY WITH THE AMERICAN NATIONAL STANDARDS WITH THE SET 1. WINDOWS SHALL BE INSTALLED AND CONSTRUCTED SO THAT NO PANEL CAN BE LIFTED FROM THE TRACKS WHEN IN THE LOCKED POSITION AND SO AS TO COMPLY WITH THE ARCHITECTURAL ALUMINUM GUIDE.

### DOOR, HARDWARE & FINISH NOTES

- ACCESSIBILITY NOTE:**  
 HANDLES, PULLS, LATCHES, LOCKSETS AND OTHER OPERATING MECHANISMS ON ENTRANCE DOORS, RESTROOMS AND TOILET ROOMS DOORS AND OTHER DOORS WHICH ARE PART OF AN ACCESSIBLE ROUTE SHALL HAVE A SHAPE THAT IS EASY TO GRASP WITH ONE HAND AND WHICH DOES NOT REQUIRE A TIGHT GRASPING, TIGHT FINGERING OR TWISTING OF THE WRIST TO OPERATE.
- LOCK OPERATED MECHANISM AND U-SHAPED HANDLES ARE ACCEPTABLE DESIGNS. INTERIOR DOOR CLOSER FORCE SHOULD NOT EXCEED 5 LBS. OPERING FORCE.

### DOORS NOTES

1. CONTRACTOR SHALL COORDINATE ALL OPENINGS WITH SELECT WINDOWS AND DOOR MANUFACTURER.
2. ALL DOOR OPENINGS SHALL HAVE DOUBLE STUDS ON BOTH SIDES.
3. ALL ALUMINUM COMPONENT TO BE FINISHED WITH AN ANTI-CORROSION FINISH AND A THERMO-BRIDGE INTERRUPTER. ALL ALUMINUM COMPONENT TO BE FINISHED WITH AN ANTI-CORROSION FINISH AND A THERMO-BRIDGE INTERRUPTER. ALL ALUMINUM COMPONENT TO BE FINISHED WITH AN ANTI-CORROSION FINISH AND A THERMO-BRIDGE INTERRUPTER.
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### EGRESS WINDOWS NOTES

- MODE OF OPERATION SHALL NOT REQUIRE A KEY TO OPEN. SPECIAL KNOWLEDGE OR SKILL TO MAKE AVAILABLE THE REQUIRED CLEAR OPENING AND NO PART OF THE OPERATING MECHANISM SHALL BE PLACED HIGHER THAN 6' 0\"/>

### WINDOWS NOTES

1. CONTRACTOR SHALL COORDINATE ALL OPENINGS WITH SELECT WINDOWS AND DOOR MANUFACTURER.
2. ALL ALUMINUM COMPONENT TO BE FINISHED WITH AN ANTI-CORROSION FINISH AND A THERMO-BRIDGE INTERRUPTER. ALL ALUMINUM COMPONENT TO BE FINISHED WITH AN ANTI-CORROSION FINISH AND A THERMO-BRIDGE INTERRUPTER.
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### COMPONENTS OF MEANS OF EGRESS

1. NO DOORS IN THE PATH OF TRAVEL OF MEANS OF EGRESS SHALL BE LESS THAN 2' 0\"/>
2. EVERY CLOSET DOOR LATCH SHALL BE SUCH THAT THE DOOR CAN OPEN FROM INSIDE THE CLOSET.
3. EVERY BATHROOM DOOR LOCK SHALL BE DESIGNED TO PERMIT THE OPENING OF LOCKED DOOR FROM THE OUTSIDE IN AN EMERGENCY.
4. DOORS MAY BE SWINGING OR SLIDING AND ARE EXEMPT FROM THE REQUIREMENTS OF THE FLORIDA BUILDING CODE.
5. NO DOOR OR ANY MEANS OF ESCAPE SHALL BE LOCKED AGAINST EGRESS WHEN THE BUILDING IS OCCUPIED. ALL LOCKING DEVICES WHICH IMPED OR PROHIBIT EGRESS OR WHICH CANNOT BE EASILY DISENGAGED SHALL BE PROHIBITED.



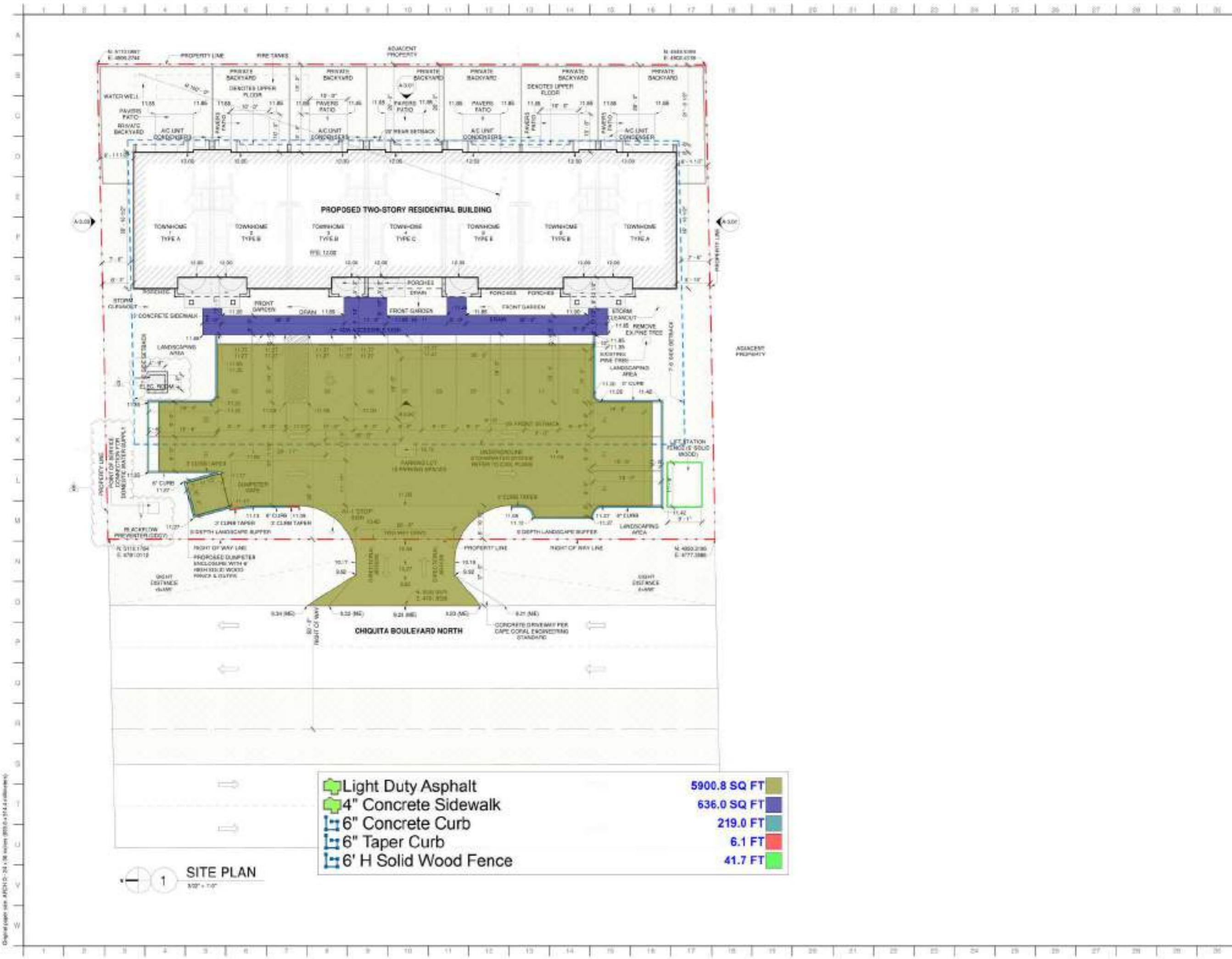
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Revision	No.	Date	Revised description
1	03-21-2024		COMMENTS/VERSION UPDATE
2	08-08-2024		CITY COMMENTS

Scale: As Noted  
 Project number: 24-040  
 Issue date: 01-31-2024  
 Project location:   
 Contribution Documents:   
 Permit Set

### WINDOWS & DOORS SCHEDULE

Sheet number: **A-10.03**



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Revision No.	Date	Revision description
1	03.27.2024	COMMENTS/REVISION UPDATE
2	08.08.2024	CITY COMMENTS
3	08.21.2024	CITY COMMENTS

Scale: As Shown  
 Project Number: 24-046  
 Issue Date: 01-31-2024  
 Project Location: Construction Documents / Permit Set

**SITE PLAN**

Sheet Number: **A-0.10**

Original copies with APCH (2-24) 1/8" scales (800.0 x 514.4 millimeters)



**1 GROUND FLOOR LIFE SAFETY**  
1" = 2'-0"

**BUILDING DATA:**  
THIS PROJECT WAS DESIGNED AND IN ACCORDANCE UNDER 2023 FLORIDA BUILDING CODE  
TYPE OF CONSTRUCTION: TYPE II - 0 NO SPRINKLERS  
MAXIMUM ALLOWABLE BUILDING HEIGHT IN FEET ABOVE GRADE PLANE: 75 FEET PROVIDED BY 2' FEET  
MAXIMUM ALLOWABLE NUMBER OF STORIES ABOVE GRADE PLANE & STORIES PROVIDED: 2 STORIES  
MAXIMUM ALLOWABLE AREA FACTOR IN SQUARE FEET: 48,000 SQ. PROVIDED GROSS AREA 10,500 SQ.  
OCCUPANCY CLASSIFICATION: RESIDENTIAL GROUP R-2  
MAXIMUM TRAVEL DISTANCE WITHOUT SPRINKLER SYSTEM: 200 FEET (FBC 107.2) PROVIDED: 42' 3" FEET  
MAXIMUM FLOOR AREA ALLOWANCES PER OCCUPANT: RESIDENTIAL 200 SQ. FEET (FBC 104.3) PROVIDED: 8 PEOPLE PER UNIT  
NOTE: EACH TOWNHOUSE SHALL BE CONSIDERED A SEPARATE BUILDING AND SHALL BE SEPARATED BY SEPARATE FIRE-RESISTANCE RATED EXTERIOR WALL ASSEMBLIES MEETING THE REQUIREMENTS OF ZERO CLEARANCE FROM PROPERTY LINES OF SECTION 905.1 FOR EXTERIOR WALLS AS PER 905.2

- 4" Painted Parking Strip 18' L
  - ▨ 4" Painted Parking Strip
  - 12" Wide Painted Arrow Sign
  - Painted Handicap Sign
  - (6'-0" L) Wheel Stopper
- 16.0 EA
  - ▨ 149.5 FT
  - 4.0 EA
  - 1.0 EA
  - 14.0 EA

**LIFE SAFETY LEGEND**

	2 HOUR-FIRE RATED BARRIER
	1 HOUR-FIRE RATED BARRIER
	ZERO CLEARANCE/PROPERTY LINE
	TRAVEL DISTANCE / COMMON PATH
	EXIT DOOR INFORMATION

**RESIDENTIAL UNITS OCCUPANCY**

SPACE	OCCUPANCY TYPE	AREA	LOAD FACTOR	NO. OCCUPANTS
TOWNHOME 1 TYPE A	RESIDENTIAL R-2	1,486 SF	200 GROSS	8 PER UNIT
TOWNHOME 2 TYPE B	RESIDENTIAL R-2	1,458 SF	200 GROSS	8 PER UNIT
TOWNHOME 3 TYPE B	RESIDENTIAL R-2	1,458 SF	200 GROSS	8 PER UNIT
TOWNHOME 4 TYPE C	RESIDENTIAL R-2	1,407 SF	200 GROSS	8 PER UNIT
TOWNHOME 5 TYPE B	RESIDENTIAL R-2	1,458 SF	200 GROSS	8 PER UNIT
TOWNHOME 6 TYPE B	RESIDENTIAL R-2	1,458 SF	200 GROSS	8 PER UNIT
TOWNHOME 7 TYPE A	RESIDENTIAL R-2	1,486 SF	200 GROSS	8 PER UNIT

**TRAVEL DISTANCE / COMMON PATH TYPICAL**

SPACE	MAX. ALLOWED	PROVIDED
TOWNHOME 1 TYPE A	200'-0" FT	42'-3" FT
TOWNHOME 2 TYPE B	200'-0" FT	42'-3" FT
TOWNHOME 3 TYPE B	200'-0" FT	42'-3" FT
TOWNHOME 4 TYPE C	200'-0" FT	42'-3" FT
TOWNHOME 5 TYPE B	200'-0" FT	42'-3" FT
TOWNHOME 6 TYPE B	200'-0" FT	42'-3" FT
TOWNHOME 7 TYPE A	200'-0" FT	42'-3" FT



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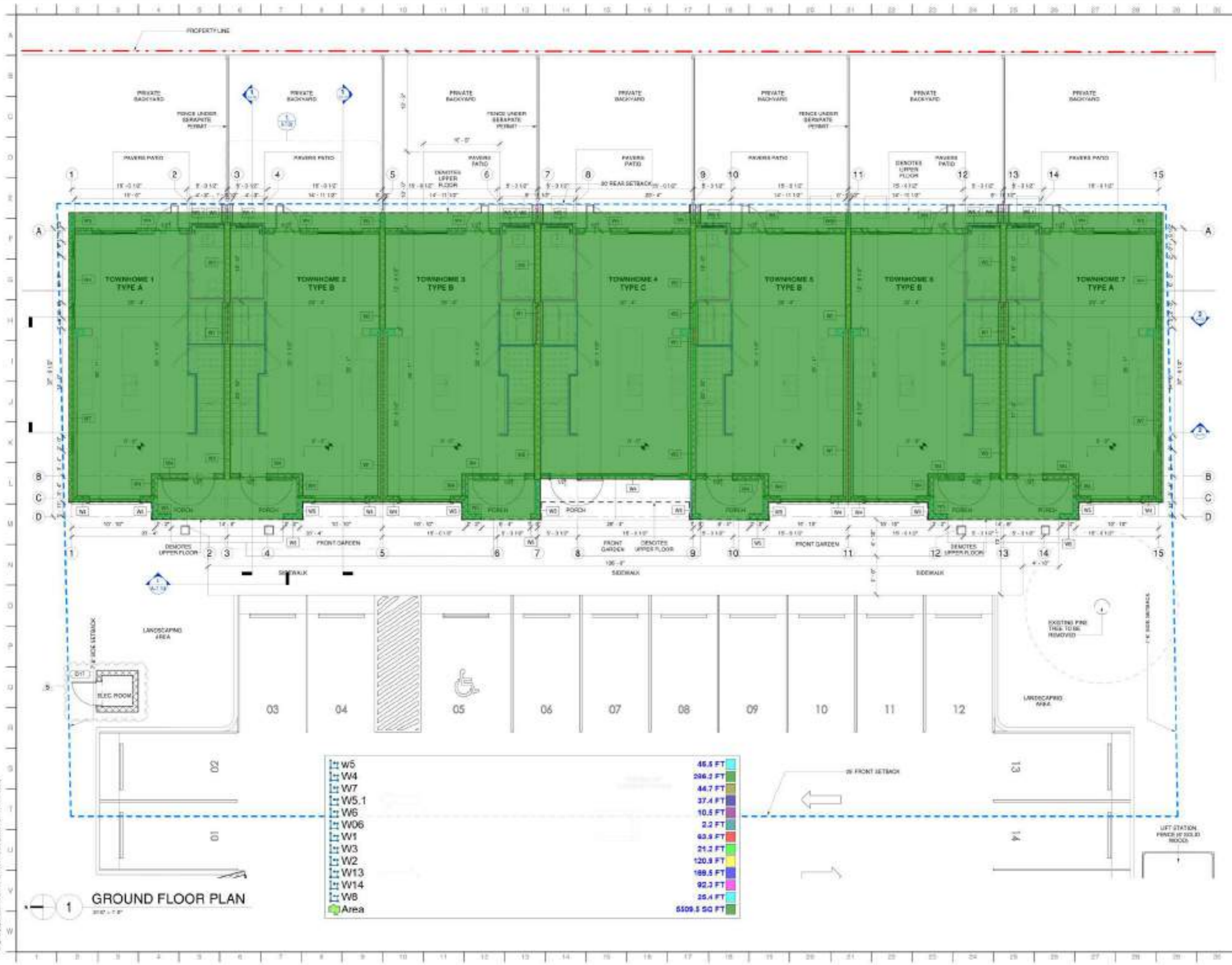
**Revisions:**

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1	03-27-2024	COMMENTS/DESIGN UPDATE
2	08-02-2024	CITY COMMENTS
3	08-01-2024	CITY COMMENTS

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Project number: 20-426  
Issue date: 01-31-2024  
Prepared: [Name]  
Checked: [Name]  
Construction Documents: [Name]

**GROUND FLOOR PLAN**

Sheet number:  
**LS-1.00**



**GROUND FLOOR PLAN**

W5	46.5 FT
W4	286.2 FT
W7	44.7 FT
W5.1	37.4 FT
W6	10.5 FT
W06	2.2 FT
W1	63.9 FT
W3	21.2 FT
W2	120.9 FT
W13	189.5 FT
W14	92.3 FT
WB	25.4 FT
Area	5509.5 SQ FT



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**Revisions:**

No.	Date	Revised description
1	03-27-2024	COMMENTS/DESIGN UPDATE
2	08-01-2024	CITY COMMENTS

**Scale:** As Noted  
**Project number:** 20-426  
**Date:** 01-31-2024  
**Project/Client:** Construction Documents / Permit Set

**GROUND FLOOR PLAN**

**Sheet number:**  
**A-2.00**

Original copies with ARCHID 24-108 expires 08/30/2024 (03/31/24)



W12 9'	76.7 FT
W10 19'	82.6 FT
W10 14'-6"	152.4 FT
W11 17'	40.5 FT
W12 9'	5.6 FT
W11 9'	261.6 FT
W14 9'	216.7 FT
W9 9'	38.6 FT
W13 9'	702.8 FT



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 James G. Cook, PE 12572 on 06/11/2024  
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 electronically signed and sealed and the signature must  
 be verified on any electronic copies.

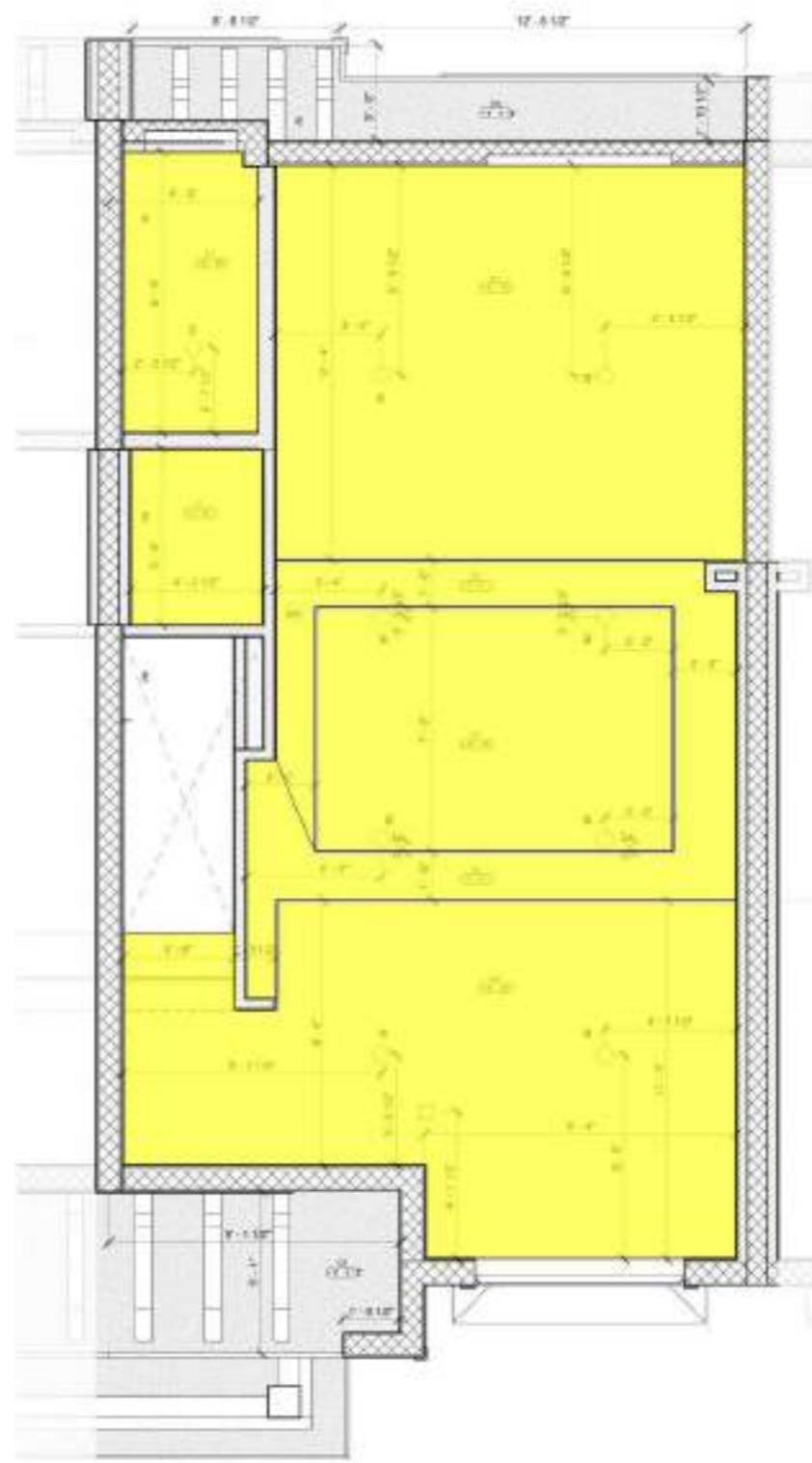
Revisions:

No.	Date	Revised description
1	03-27-2024	COMMENTS/DESIGN UPDATE
2	08-01-2024	CITY COMMENTS

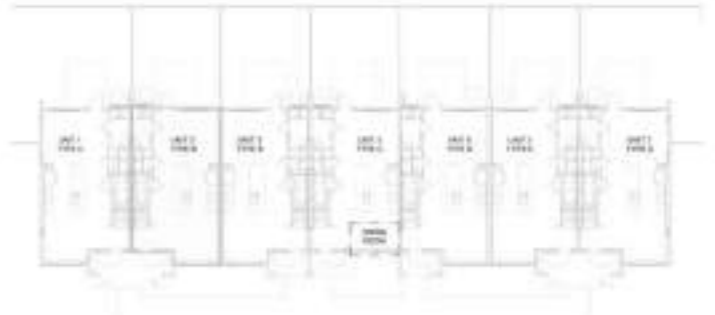
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 Project number: 20-040  
 Issue date: 01-31-2024  
 Project location: Celebration, FL  
 Consultant: James G. Cook, P.E.  
 Consultant address: 1000 E. US Highway 1, Suite 100, Kissimmee, FL 34741  
 Consultant phone: 407-842-1111  
 Consultant fax: 407-842-1112  
 Consultant email: jgcook@jgcookpe.com

Drawing title:  
**SECOND FLOOR PLAN**  
 Sheet number:  
**A-2.10**

Original paper size: ARCH D (36" x 48" inches) (914.4 x 1219.2 millimeters)



REFLECTED CEILING PLAN LEGEND		FINISHES NOTES
TYPE	DESCRIPTION	1. ALL PAINT AND STAIN MUST ADHERE TO THE SUBSTRATE TO THE CLEAN, PROPERLY PREPARED SURFACE. PROVIDE MINIMUM TWO COAT COVERAGE. 2. ALL PAINT AND STAIN PRODUCTS MUST BE APPLIED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDED APPLICATION INSTRUCTIONS. 3. CONTRACTOR TO VERIFY ALL MEASUREMENTS, QUANTITIES AND TAKE OFFS IN THE FIELD. 4. ALL DRYWALL SURFACES TO BE FINISHED SHALL RECEIVE ONE COAT OF SELECT AND APPROVED COLOR PAINT. 5. THIS PLAN IS TO BE USED FOR BIDDING ONLY. FINAL COLOR PLAN WILL BE USED FOR FINISH WORK. 6. PAINTING CONTRACTOR IS RESPONSIBLE FOR ALL INTERIOR FINISH CALLING. 7. ALL JOINTS AND INTERIOR ANGLES HAVE TAPE, SCHEDULED JOINT COMPOUND AND TWO SEPARATE COATS OF JOINT COMPOUND APPLIED OVER A FLAT JOINTS AND ONE SEPARATE COAT OF JOINT COMPOUND APPLIED OVER INTERIOR ANGLES. FASTENER HEADS AND ACCESSORIES SHALL BE COVERED WITH THREE SEPARATE COATS OF JOINT COMPOUND. ALL JOINT COMPOUND SHALL BE SMOOTH AND FREE FROM MARKS AND RIDGES. 8. WEATHERPROOFING SHALL BE PROVIDED AT WEAT AREAS. 9. FOR ADDITIONAL FIRE RATED INFORMATION OF WALL AND PARTITION REFER TO LIFE SAFETY PLANS. 10. ANY INSTALLED INSULATION PRODUCT SHALL BE FREE OF FORMALDEHYDE. 11. PROVIDE CALLING AT ALL INTERIOR NON-MOUNTING JOINTS WINDOW FRAMES, DOOR FRAMES AND THE LIKE. CLEAN ALL JOINTS AND PRIME AS NEEDED FOR FULL ADHESION. 12. ALL DRYWALL BOARD ASSEMBLIES SHALL BE TYPED, TRIMMED AND Sanded TO PROVIDE A SMOOTH EVEN SURFACE. 13. ALL ALUMINUM COMPONENT TO BE FINISHED WITH AN INHERENT THE FMO-CURED PRIMER AND A THE FMO-CURED FLUOROCARBON COATING CONTAINING "LOW VOC" RESIN OR APPROVED EQUAL. COMPLY WITH MARIANA METAL FINISHES MANUAL FOR FINISH DESIGNATIONS AND APPLICATION RECOMMENDATIONS.
□	0.05 1/2" GYPSUM BOARD CEILING - S&D RESTART	
□	0.02 5/8" SMOOTH FIBERCEMENT SOFFIT BOARD - S&D RESTART	
4	RECESSED LIGHT FIXTURE - SATCO 31" HIGH 4" 48 LUMENS	
8	RECESSED COOPER LIGHTING - ULTRA RIMLED DOWNLIGHT	
D	RECESSED LIGHT FIXTURE - SATCO 51" HIGH 15" DAMP LOCATION	
E	WALL MOUNTED LIGHT FIXTURE - SATCO NUVO - ARCHITECTURAL WALL SCENE	
I	WALL MOUNTED LIGHT FIXTURE - SYLVANA - SCREEN CAP LAMP	
Z	RECESSED LIGHT FIXTURE - LED LIGHT - CEILING FAN	
□	INSPECTION HATCH DOOR	
FOR ADDITIONAL INFORMATION SEE MECHANICAL, ELECTRICAL, AND FIRE PROTECTION DRAWINGS.		
NOTE: CONTRACTOR TO FOLLOW MANUFACTURER RECOMMENDATIONS, SPECIFICATIONS AND OR SHOP DRAWINGS TO ASSURE THE APPROPRIATE INSTALLATION OF CEILING AND THEIR COMPONENTS. ADDITIONALLY CORROSION RESISTANT MEASUREMENTS OF THE PROPOSED MATERIALS AND PROPOSED LOCATION.		



<ul style="list-style-type: none"> <li>WHITE PAINT on Ceiling</li> <li>Soffit 1'-0" H</li> <li>Paint on Railing (pitch 7)</li> <li>FF.01</li> <li>FF.04</li> <li>FF.02</li> <li>FF.05</li> <li>FF.02</li> <li>FF.06</li> <li>FB.01</li> <li>FB.02</li> <li>Ceramic Wall Tile 7'-0" H ..... 7 EA</li> </ul>	<ul style="list-style-type: none"> <li>579.0 SQ FT</li> <li>68.7 FT</li> <li>21.8 FT</li> <li>537.0 SQ FT</li> <li>99.9 SQ FT</li> <li>36.4 SQ FT</li> <li>76.5 SQ FT</li> <li>19.8 SQ FT</li> <li>24.4 SQ FT</li> <li>143.4 FT</li> <li>14.5 FT</li> <li>23.0 FT</li> </ul>	<p>As Noted 10-2024 6-11-2024</p> <p>Revision Documents Point Set</p> <p>LARGEMENTS 3</p>
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Seal

This seal has been digitally signed and sealed by  
 Jason Corbin, Architect, APR 2007, as it is represented here. Please review the contents of this document and seal (which is not a signature) and seal and use the signature must be verified on any electronic copies.

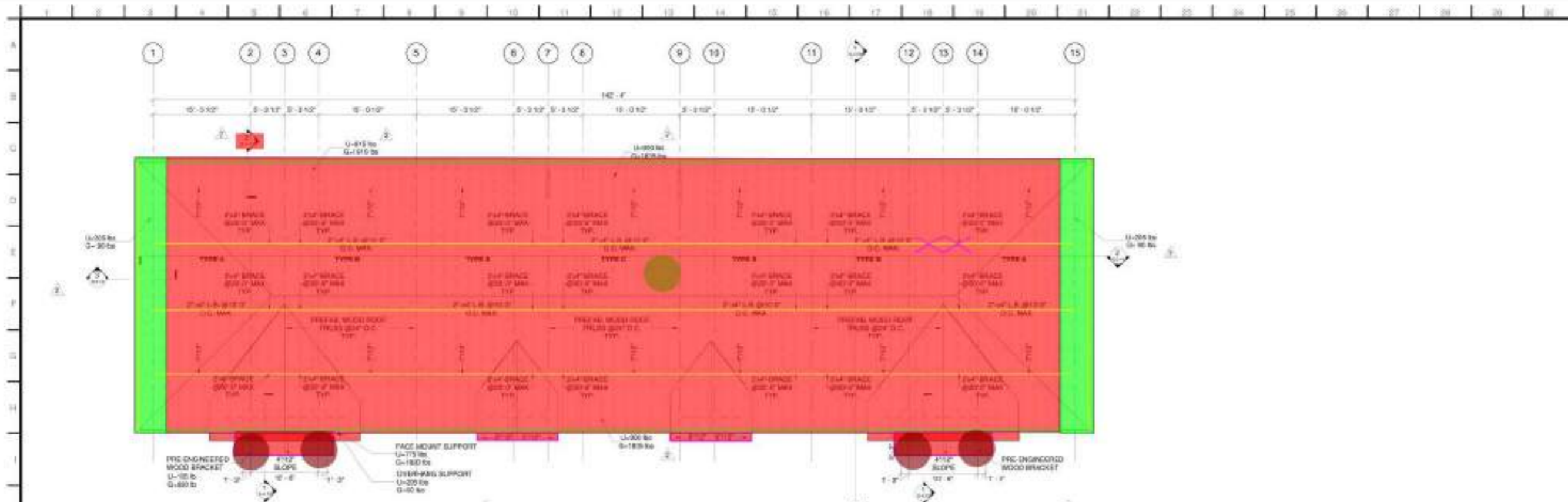
Revision:

No.	Date	Revised description
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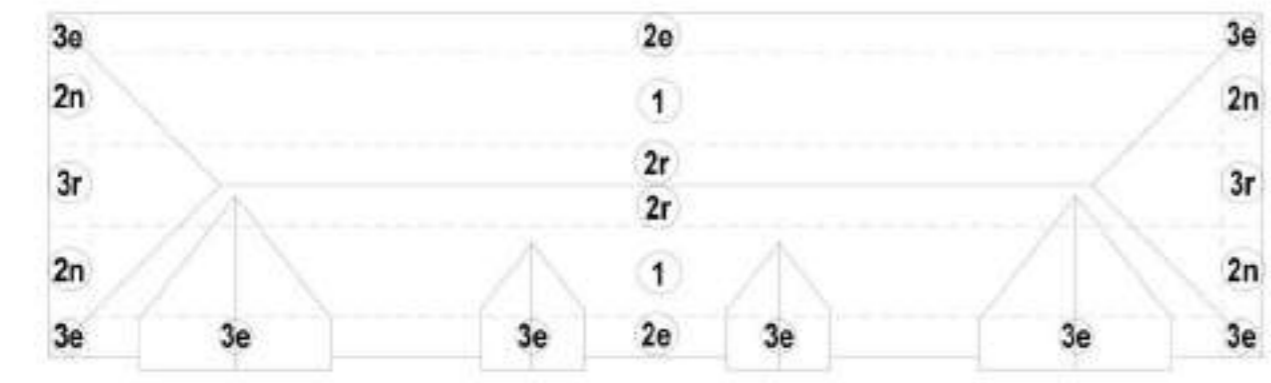
**A-7.00**

Original design with ARCHICAD 24 - 1/8" scales (800.0 x 514.4 millimeters)

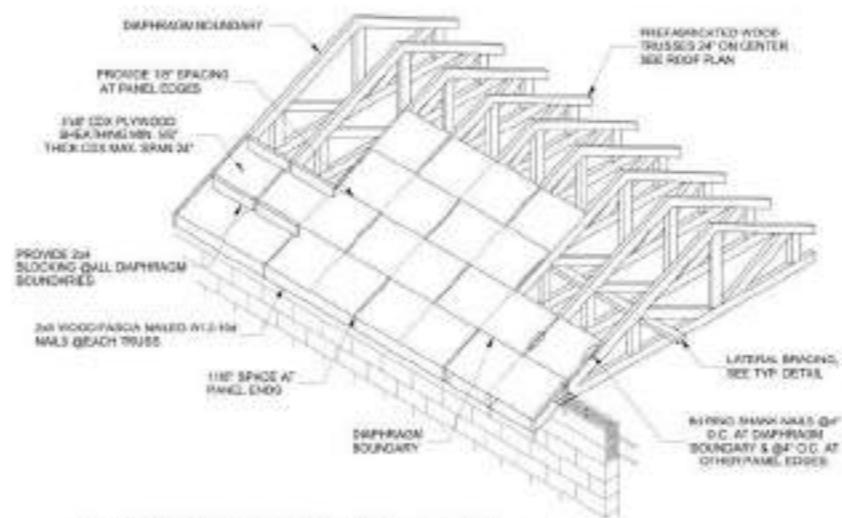




**1 ROOF PLAN**  
Scale: 1/8" = 1'-0"



**2 COMPONENTS & CLADDING-ROOF DIAGRAM**  
Scale: 3/32" = 1'-0"



**3 PLYWOOD NAILING DETAIL**  
Scale: 1 1/2" = 1'-0"

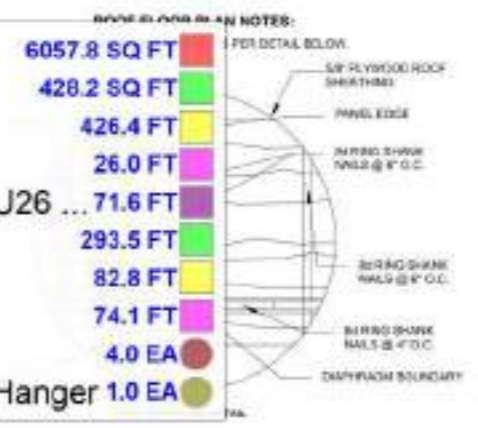
Zone	Effective Wind Area (F <sup>2</sup> )	Case 1	Case 2
1	14	0.00	66.23
1	23	0.00	46.74
1	59	0.00	34.81
1	108	0.00	32.34
2a	13	0.00	69.22
2a	20	0.00	46.74
2a	59	0.00	34.81
2a	108	0.00	32.34
2b	108	0.00	46.74
2b	19	0.00	69.22
2b	39	0.00	46.74
2b	84	0.00	34.81
2b	108	0.00	32.34
2c	19	0.00	69.22
2c	23	0.00	46.74
2c	59	0.00	34.81
2c	108	0.00	32.34
3a	19	0.00	69.22
3a	23	0.00	46.74
3a	59	0.00	34.81
3a	108	0.00	32.34
3b	19	0.00	69.22
3b	23	0.00	46.74
3b	59	0.00	34.81
3b	108	0.00	32.34

**Roof Structure Callouts**

- Prefab Wood Roof Trusses @ 24" O.C (By Others) **6057.8 SQ FT**
- Overhang Wood Lockouts @ 24" O.C (By Others) **428.2 SQ FT**
- 2"x4" Lateral Bracing @ 10' O.C **426.4 FT**
- 2"x4" Brace @ 20' O.C x12 **26.0 FT**
- 2X5 Ledger W/ 1/2 Dia Thru Bolt "H1A" Hurricane String Tie Simpson & HU26 ... **71.6 FT**
- "H10S" Simpson Strong Tie W/(8) 0.131x1-1/2" Nails on Wood Truss **293.5 FT**
- "HM9KT" Simpson Strong Tie W/(4) 1/4x1-1/2" sds on Wood Truss **82.8 FT**
- 2x8 Fascia W/ 2-16 Nails **74.1 FT**
- 2x5 Kicker For Bracket Beyond Canopy W/ (2) ML24Z EA **4.0 EA**
- Prefab Wood Roof Trusses @ 24" O.C (By Others) 6058 SF W/ "H214" Hanger **1.0 EA**

**Roof Structure Callouts**

Zone	Effective Wind Area (F <sup>2</sup> )	Case 1	Case 2
1	14	0.00	66.23
1	23	0.00	46.74
1	59	0.00	34.81
1	108	0.00	32.34
2a	13	0.00	69.22
2a	20	0.00	46.74
2a	59	0.00	34.81
2a	108	0.00	32.34
2b	108	0.00	46.74
2b	19	0.00	69.22
2b	39	0.00	46.74
2b	84	0.00	34.81
2b	108	0.00	32.34
2c	19	0.00	69.22
2c	23	0.00	46.74
2c	59	0.00	34.81
2c	108	0.00	32.34
3a	19	0.00	69.22
3a	23	0.00	46.74
3a	59	0.00	34.81
3a	108	0.00	32.34
3b	19	0.00	69.22
3b	23	0.00	46.74
3b	59	0.00	34.81
3b	108	0.00	32.34



**GENERAL NOTES:**

- FOR GENERAL STRUCTURAL NOTES SEE SHEET 3.0.0.
- FOR ADDITIONAL DIMENSIONS SEE ARCHITECTURAL DRAWINGS.
- COORDINATE SLAB OPENINGS WITH ARCHITECTURAL AND MECHANICAL DRAWINGS.
- SEE ARCHITECTURAL DRAWINGS FOR ALL WALL LOCATIONS.

**TYP. ROOF FRAMING NOTES:**

**ROOF SHEATHING**  
ROOFING TO BE 1/2" CDX PLYWOOD SHEATHING (SHEATHING SHALL BE NAIL TO 2X8 BRACING STRIKE NAILS @ 4" O.C. AT DIAPHRAGM BOUNDARY & @ 4" O.C. AT OTHER PANEL EDGES. SHEATHING PANEL JOINTS SHALL LOC OR OVER TRUSSES. SHEATHING PANELS SHALL BE INSTALLED WITH JOINTS STAGGERED AND PARALLEL TO TRUSSES IN ACCORDANCE WITH SECTION 05120.1.1.

**ROOF SYSTEM**  
PRE ENGINEERED WOOD ROOF TRUSS (JEK) SHALL BE DESIGNED BY THE MANUFACTURER IN ACCORDANCE WITH SPECIFIED LOADS (SEE 0.0.0) AND GOVERNING CODES. SUBMITTALS SHALL INCLUDE TRUSS FRAMING PLAN AND DETAILS SHOWING MEMBER SIZES, BRACING ANCHORAGE, CONNECTIONS, TRUSS LOCATIONS AND TEMPORARY AND PERMANENT BRACING AND/OR BRACING AS REQUIRED FOR ERECTION AND FOR PERMANENT STRUCTURE. EACH SUBMITTAL SHALL BE SEENED AND SEALED BY A FLORIDA REGISTERED STRUCTURAL ENGINEER.

**NOTES:**

- ROOF, JOIST, TRUSS MANUFACTURER SHALL COORDINATE LOCATIONS OF ALL MECHANICAL CHANGES AND PLUMBING TO AVOID CONFLICT.
- ALL JOIST TO JOIST OR TRUSS TO TRUSS CONNECTIONS SHALL BE SPECIFIED BY THE MANUFACTURER.

**LEGEND**

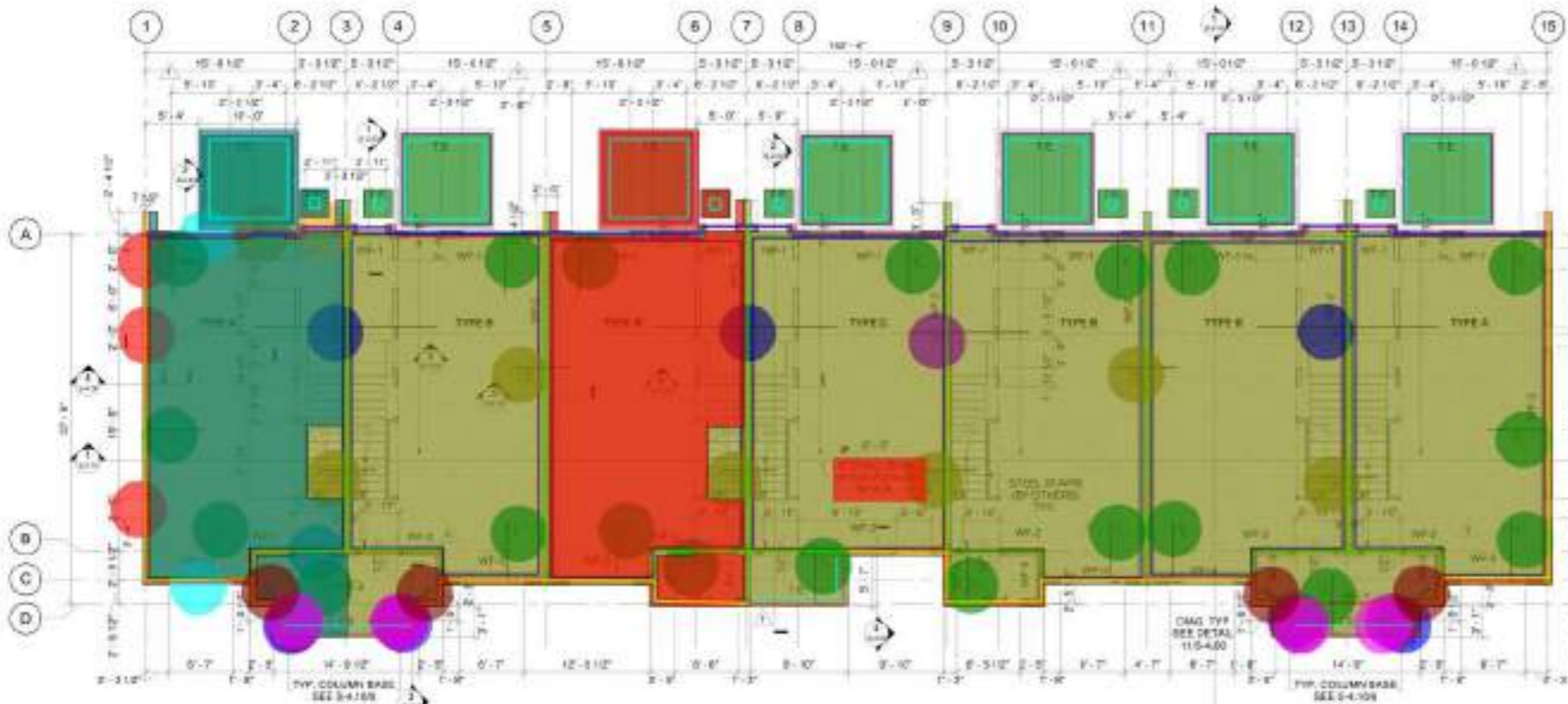
- PREFAB. WOOD ROOF TRUSS



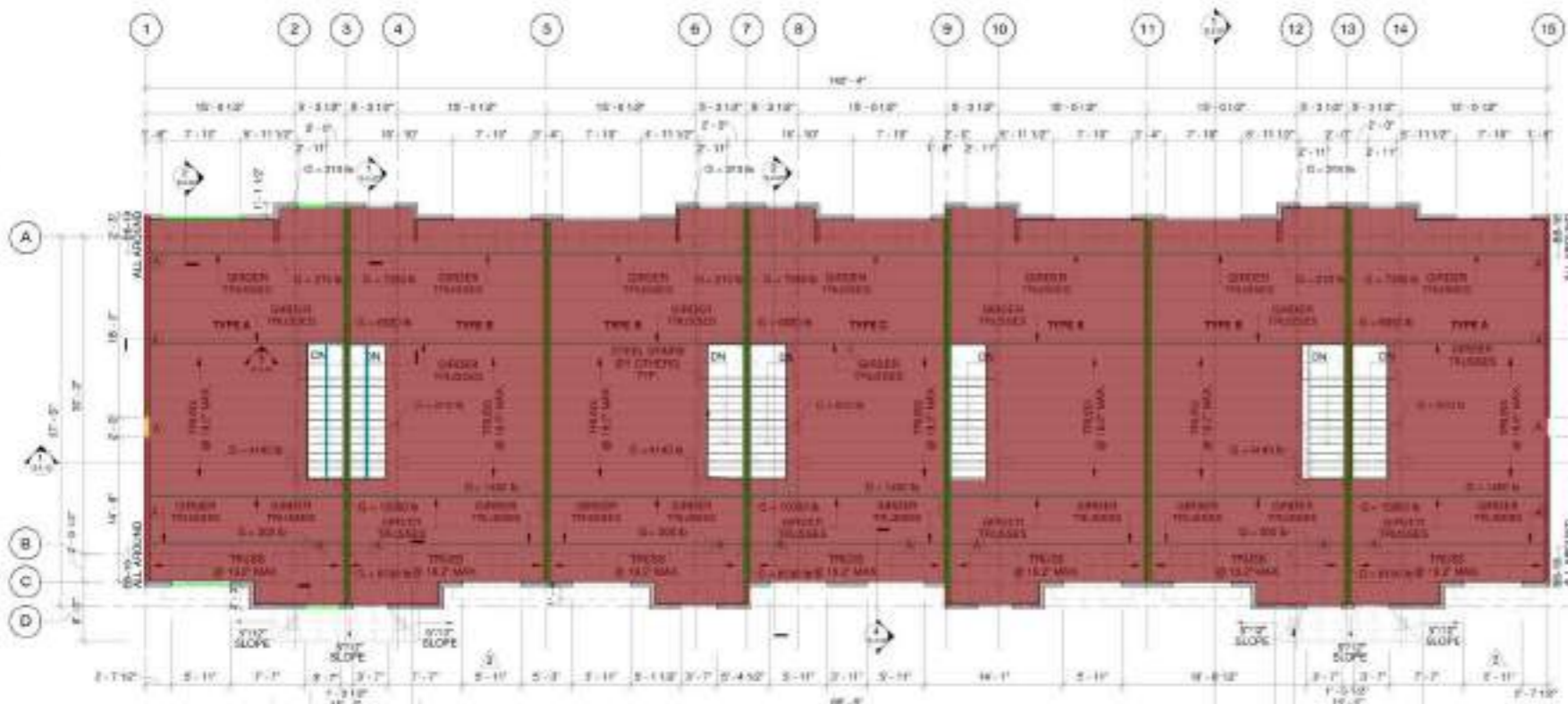
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Project Number: 20-446  
Issue Date: 01-31-2024  
Project Name: Construction Documents / Permit Set

**ROOF PLAN**

Sheet Number: **S-1.10**



**1 FIRST FLOOR/FOUNDATION PLAN**  
Scale: 1/8" = 1'-0"



**2 SECOND FLOOR PLAN**  
Scale: 1/8" = 1'-0"

- 18"x18" Concrete Footing 219.1 FT
- 18"x18" Concrete Footing #5@12" Top & Bot Short Bar (2) #5 Top & Bot Long Bar 141.2 FT
- 24"x18" Concrete Footing 272.0 FT
- 30"x30"x18" Pad Footing 4.0 EA
- 8"x18" Thickened (1) #5 Cont. Bar 309.3 FT
- 8" Thick Concrete pad 635.8 SQ FT
- 4" Concrete Slab 5324.8 SQ FT
- Thickened Slab 714.1 FT
- 12"x12" Wood Column 10H W/ CB1212 Simpson Strong Tie Column Base 4.0 EA
- 8" Rod Beam 308.4 FT
- Girder Trusses 554.3 FT
- Pre-Engineered Wood Floor Trusses @ 19.2" O.C. 4928.9 SQ FT
- 2x4 Blocking 924.2 FT
- 2x Wood Stringer NAN FT
- 2x Wood Stringer 336.0 FT
- (7'-0" L) Pre-Cast Lintel Beam X7 2.0 EA
- (4'-0" L) Pre-Cast Lintel Beam X14 1.0 EA
- (3'-6" L) Pre-Cast Lintel Beam X14 1.0 EA
- (4'-8" L) Pre-Cast Lintel Beam X7 1.0 EA
- (3'-0" L) Pre-Cast Lintel Beam X2 2.0 EA
- (8'-8" L) Pre-Cast Lintel Beam X7 NAN EA
- 8" CMU 10'-6"H 668.4 FT
- 4"x6" Header X7 22.5 FT
- 4"x6" Header X2 2.4 FT
- #4x6'-0" Long Top Transfer Bar @ 12" O.C - 198 LF 26.0 EA
- #4x6'-0" Long Top Transfer Bar @ 12" O.C - 216 LF 8.0 EA
- #4x18'-5" Long Top Transfer Bar @ 12" O.C - 108 LF 4.0 EA
- #4x12'-3" Long Top Transfer Bar @ 12" O.C - 36 LF 1.0 EA
- 4" Concrete Slab W/ 6x6-W2.9x2.9 W.W.R - 4 EA 912.9 SQ FT
- 10 MIL Polythelene Vapo... 785.6 SQ FT
- 4" Concrete Slab W/ 6x6-W2.9x2.9 W.W.R - 3 EA 307.7 FT
- (2'-0"x1'-6") Reinf Concrete Wall Footing W/ (2) #5@12" O.C Top & Bottom 187.5 FT
- (1'-8"x1'-6") Reinf Concrete Wall Footing W/ (2) #5@12" O.C Top & Bottom 148.7 FT
- (1'-6"x1'-6") Reinf Concrete Wall Footing W/ (2) #5@12" O.C Top & Bottom 4.0 EA
- 30"x30"x18" Reinf Concrete Pad Footing W/ 4#5 288.2 FT
- 8"x1'-6" Thickened Slab W/ 1#5 Cont. 4.0 EA
- (2) #4x3'-0" Diagonal Crack Control Bar

**GENERAL NOTES:**

1. FOR GENERAL STRUCTURAL NOTES SEE SHEET S-0.00.
2. FOR ADDITIONAL DIMENSIONS SEE ARCHITECTURAL DRAWINGS.
3. COVER/SLAB THICKNESS DIMENSIONS WITH ARCHITECTURAL AND MECHANICAL DIMENSIONS.
4. SEE ARCHITECTURAL DRAWINGS FOR ALL WALL LOCATIONS.

**NOTES**

1. #4x6'-0" LONG TOP TRANSFER BAR @ 12" O.C. WITH STD 90° AD HOOK.
2. #4x18'-5" LONG TOP TRANSFER BAR @ 12" O.C.
3. #4x12'-3" LONG TOP TRANSFER BAR @ 12" O.C.
4. #4x6'-0" LONG TOP TRANSFER BAR @ 12" O.C.

**LEGEND**

- 8" LOAD BEARING CMU/WALL W/ #5 @ 12" O.C. PARTIAL GROUT AND 3 GALV LADDY TYPE HOPE REIN. 1/2"
- WOOD WALL W/ 2x6 @ 16" O.C. No. 2 GRADE SOUTHERN PINE STUDS
- WOOD WALL W/ 2x6 @ 12" O.C. No. 2 GRADE SOUTHERN PINE STUDS
- 4" CONCRETE SLAB ON GRADE
- CONCRETE GRADE BEAM OR SPREAD FOOTING
- CONCRETE FOOTING
- CONCRETE OR ANY OTHER DRAINAGE CONTROL SHALL BE PLACED AT THE LOWER PART OF THE SLAB AT ALL RE-ENTRANCE CORNERS & 4" DOWN THE SIDEWALL (15-4.3)
- 12"
- 12"x12" WOOD COLUMN (C)
- TRUSS & GIRDER TRUSS

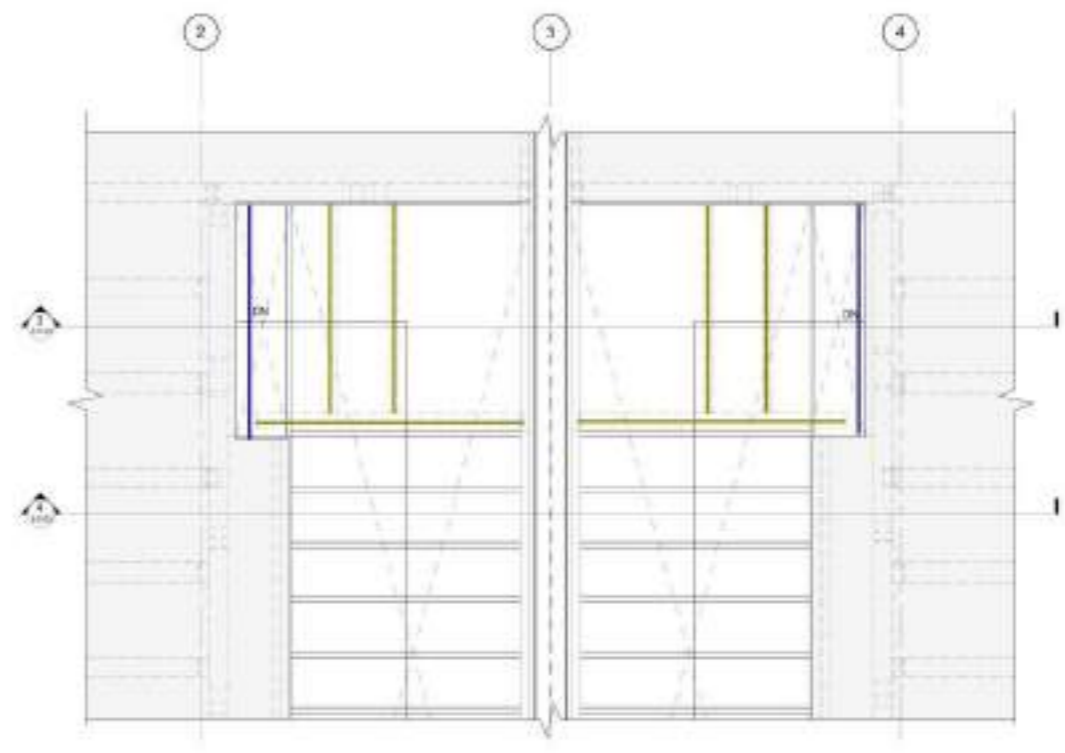
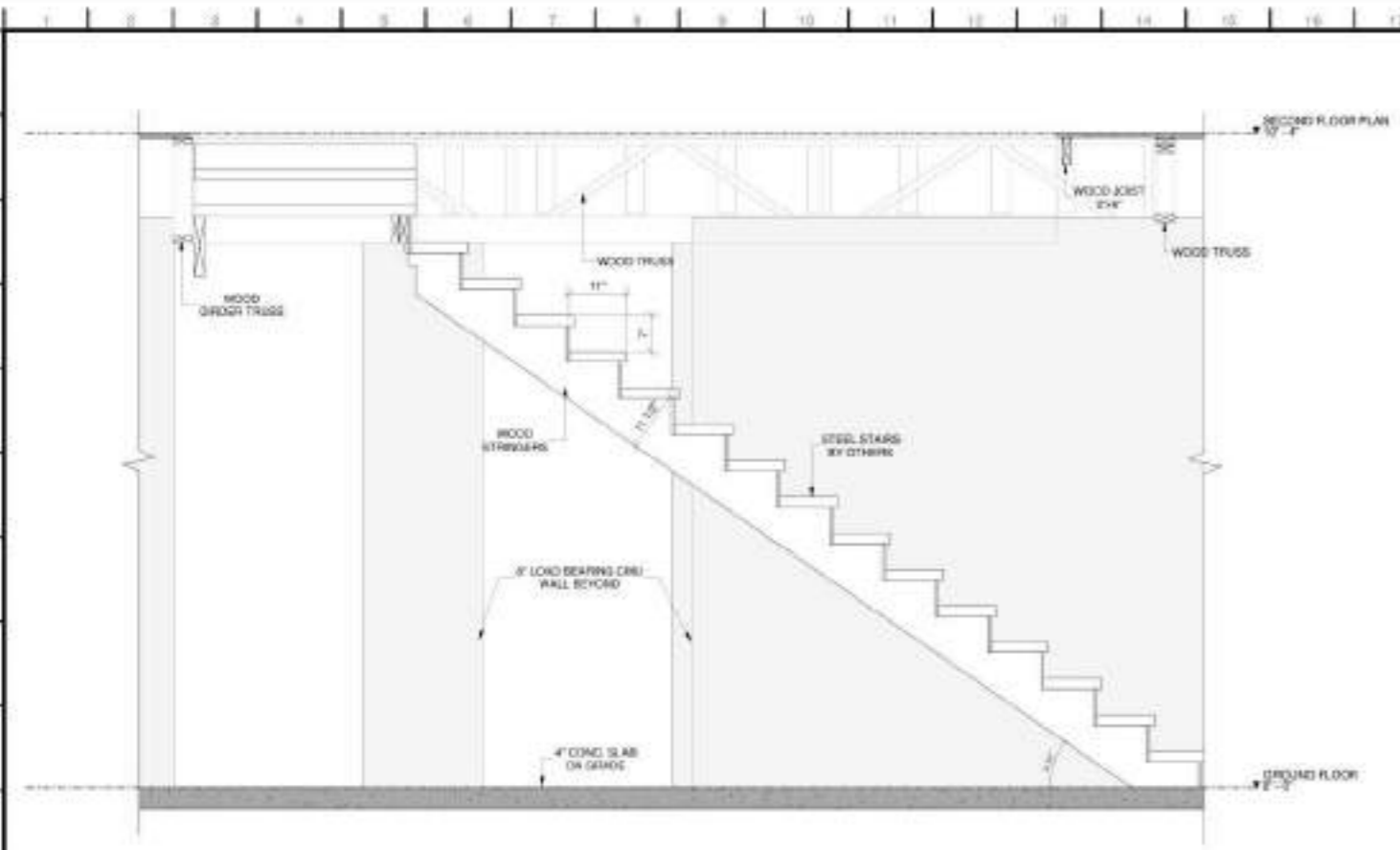


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**Project Number:** 20-426  
**Date:** 01-31-2024  
**Drawn/Checked:** Point Set

No.	Date	Revision description
1	01-31-2024	COMMENTS TO DESIGN LAYOUT
2	04-19-2024	COMMENTS TO DESIGN LAYOUT
3	08-29-2024	COMMENTS TO DESIGN LAYOUT

**FIRST/FOUNDATION & SECOND FLOOR PLAN**

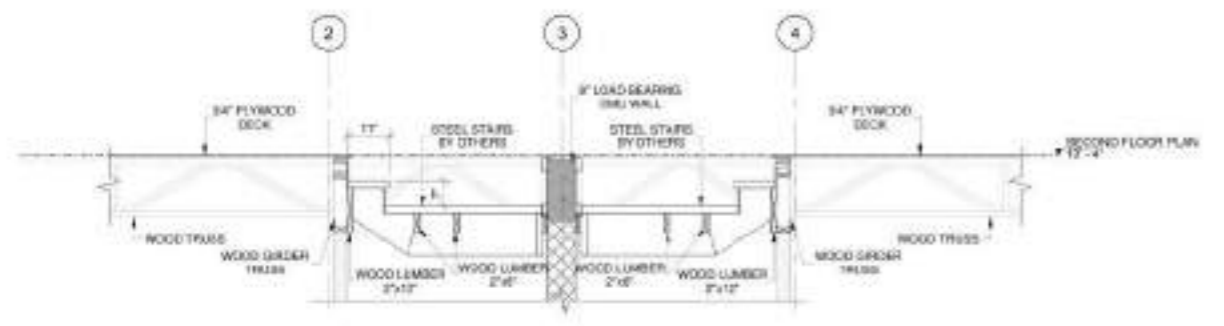
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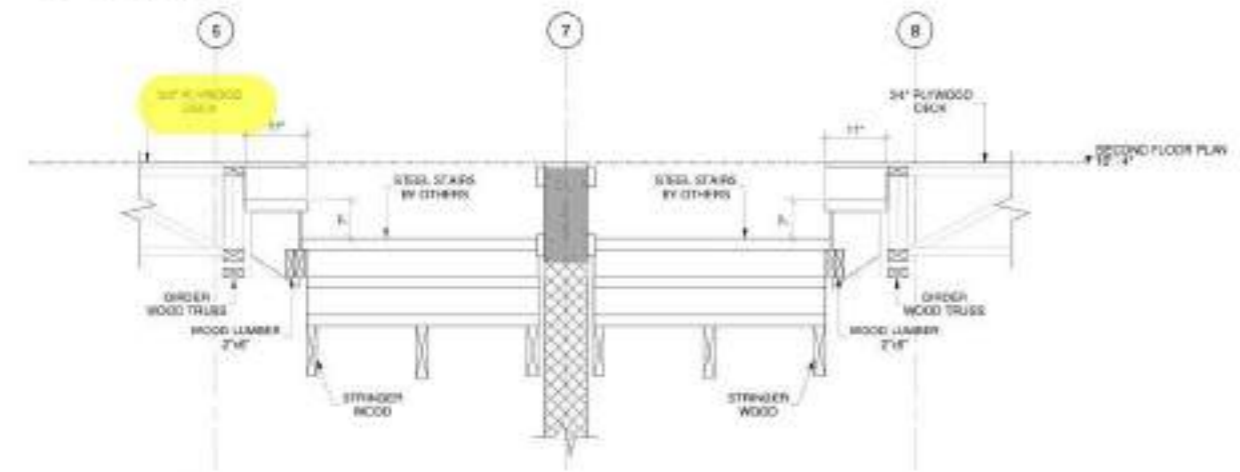
**1 STAIR SECTION**  
Scale: 3/4" = 1'-0"

**2 STAIRS PLAN**  
Scale: 3/4" = 1'-0"

	2x6 Wood Lumber	101.5 FT
	2x12 Wood Lumber	24.6 FT



**3 SECTION 1**  
Scale: 1/2" = 1'-0"



**4 SECTION 2**  
Scale: 3/4" = 1'-0"



**Seal**  
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Revisions:

No.	Date	Revision description
1	08-10-2024	COMMENTS DESCRIP FOR E

Scale: As Noted  
 Project number: 20-448  
 Issue date: 01-31-2024  
 Project/Client: Construction Documents / Point Bar

Drawing title: STAIRS SECTIONS

Sheet number: **S-5.00**